



Invitation For Bid: IFB-01-ENG-2025

Project: Design-Build of Upper Tumon Warehouse Renovation
GWA Project No. 42102

Addendum No.: **02**

Date: February 05, 2025

All Potential Bidders:

This addendum is issued to modify the previously issued bid documents and/or given for informational purposes, and is hereby made a part of the bid documents. Failure to acknowledge receipt of this addendum shall be grounds for the bidder's disqualification and rejection of the bidder's proposal.

1. The **Bid Form** has been revised, and this amendment now includes an Additive Bid Schedule for the following:
 - A. **Additive Bid Item 1.0** - Temporary Warehouse Housing
 - B. **Additive Bid Item 2.0** - Warehouse Extension (20'x80')

See revised Bid Form attached.

- No priority is assigned to either Additive Bid Item 1.0 or 2.0.
 - Each Additive Bid is optional and cannot be awarded independently and separate from the Base Bid; although Base Bids may be awarded alone.
2. **Instruction to Bidders**, Article 19, Evaluation of Bid and Award of Contract, Section 19.03 Evaluation of Bids shall be replaced in its entirety with the following:

19.03 Evaluation of Bids

- A. In evaluating Bids, Owner will consider whether or not the Bids comply with the prescribed requirements, and such alternates, unit prices, and other data, as may be requested in the Bid Form or prior to the Notice of Intent to Award. Failure to submit a bid that conforms to the requirements of the Bid Form in every respect may subject the bidder to being deemed non-responsive and therefore having their bid rejected. Bidders are advised to fill out the bid forms completely and fully and to provide all documents or other information otherwise required in a timely manner in the form requested.
- B. For the determination of the apparent low Bidder when unit price bids are submitted, Bids will be compared on the basis of the total of the products of the estimated quantity of each item and unit price Bid for that item, together with any lump sum of the items.
- C. Owner will consider bids and award contracts by evaluating all bids on the basis of the same Base Bid or Additive Bid items.

- D. If the Base Bid alone OR the Base Bid combined with any Additive Bid is within the amount of funds available to finance the design-build, then the award will be made to the lowest responsive and responsible bidder. In the event all bids exceed the available budget, Owner may reject individual Base Bid items(s) until the individual line items fit within the available budget.
- F. Further an award may be given on any combination of Base and Additive bids if:
 - (1) It is in the best interest of Owner (the Government);
 - (2) The low Bidder's price for the combination to be awarded is less than the price offered by any other responsive or responsible bidder for any combination of base and additive bids.
- 3. The following sheets of the Conceptual Drawings supersede all previously issued drawings. The drawings were revised to correct inconsistencies raised in the RFI's.
 - A. Sheet G100 Title, Location Map, Vicinity Map, Index of Drawings
 - B. Sheet C-4 Metal sidings Demolition – Existing, Rev. 1
 - C. Sheet C-5 Roof Plan and Front Elevation – New, Rev. 1
 - D. Sheet C-6 Rear and Side Elevations – New, Rev. 1
 - E. Sheet C-7 Ground and Mezzanine Floor Plans – Existing, Rev. 1
 - F. Sheet C-8 Ground and Mezzanine Floor Plans – Demolition, Rev. 1
 - G. Sheet C-9 Ground and Mezzanine Floor Plans – New, Rev. 1
 - H. Sheet C-10 Ground and Mezzanine Floor Paving Plans – New, Rev. 1
 - I. Sheet C-11 Door and Window Schedule, Rev. 1
 - J. Sheet C-12 Warehouse Extension, Added
 - K. Sheet E-4 Ground and Mezzanine Floor Reflected Ceiling Plan – New, Rev. 1
 - L. Sheet E-5 Ground and Mezzanine Floor Power Plan - New, Rev. 1
 - M. Sheet E-6 Ground and Mezzanine Floor Telecommunication Plan – New, Rev. 1

All other terms and conditions of the IFB remain the same.



MIGUEL C. BORDALLO, P.E.
General Manager



MCB;elv

Attachments: Revised Bid Form – Addendum No. 2
Revision 1 Drawings – Addendum No. 2

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BID FORM

ARTICLE 1 - BID RECIPIENT

1.01 This Bid is submitted to:

Guam Waterworks Authority
Engineering Division, Room 202
Gloria B. Nelson Public Service Building
688 Route 15
Mangilao, Guam 96913

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into a Contract with Buyer in the form included in the Bidding Documents to furnish the Goods and Special Services as specified or indicated in the Bidding Documents, for the prices and within the times indicated in this Bid, and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 2 - BIDDER'S ACKNOWLEDGMENTS

2.01 Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for 60 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Buyer.

ARTICLE 3 - BIDDER'S REPRESENTATIONS

3.01 In submitting this Bid, Bidder represents that:

A. Bidder has examined, carefully studied, Bidding Documents, Instructions, and related data identified in the Bidding Documents and has received and acknowledged any and all Amendments, Addenda, or Responses to Request(s) for Information issued from this Bid. . At the time of bid submission, all Amendments, Addenda, RFI's issued, and RFI Responses shall be listed by Bidder utilizing a form similar to the table below.

Addendum No.	Addendum Date		RFI Response No.	RFI Response Date

B. Bidder has visited the Point of Destination and site where the Goods are to be installed or Special Services will be provided and become familiar with and is satisfied as to the observable local conditions that may affect cost, progress, or the furnishing of Goods and Special Services, if required to do so by the Bidding Documents, or if, in Bidder's judgment, any local condition may affect cost, progress, or the furnishing of Goods and Special Services.

- C. Bidder is familiar with and is satisfied as to all Laws and Regulations in effect as of the date of the Bid that may affect cost, progress, and the furnishing of Goods and Special Services.
- D. Bidder has carefully studied, considered, and correlated the information known to Bidder; information commonly known to sellers of similar goods doing business in the locality of the Point of Destination and the site where the Goods will be installed or where Special Services will be provided; information and observations obtained from Bidder's visits, if any, to the Point of Destination and the site where the Goods will be installed or Special Services will be provided; and any reports and drawings identified in the Bidding Documents regarding the Point of Destination and the site where the Goods will be installed or where Special Services will be provided, with respect to the effect of such information, observations, and documents on the cost, progress, and performance of Seller's obligations under the Bidding Documents.
- E. Bidder has given Owner written notice of all conflicts, errors, ambiguities, and discrepancies that Bidder has discovered in the Bidding Documents, and the written resolution (if any) thereof by Owner is acceptable to Bidder.
- F. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for furnishing the Goods and Special Services for which this Bid is submitted.

ARTICLE 4 - BIDDER'S CERTIFICATIONS

4.01 Bidder certifies that:

- A. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation;
- B. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid;
- C. Bidder has not solicited or induced any individual or entity to refrain from bidding; and
- D. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 4.01.D:
 - 1. "corrupt practice" means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process;
 - 2. "fraudulent practice" means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Buyer, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Buyer of the benefits of free and open competition;
 - 3. "collusive practice" means a scheme or arrangement between two or more Bidders, with or without the knowledge of Buyer, a purpose of which is to establish bid prices at artificial, non-competitive levels; and

4. “coercive practice” means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process.

ARTICLE 5 - BASIS OF BID

- 5.01 Bidder will furnish the Goods and Special Services in accordance with the Contract Documents for the following price(s):

BID SCHEDULE

Interested Bidders must complete Table A. All blanks in the tables must be filled out.

Definitions:

LS = lump sum

SF = square feet

LF = linear feet

EA = each

BASE BID

Item No.	Description	Qty	Unit	Unit Price	Extended Amount
1.0	General Requirements				
1.1	Mobilization/Demobilization	1	LS	\$	\$
1.2	Bonding Fee & Insurance	1	LS	\$	\$
1.3	Permit Application Fee	1	LS	\$	\$
1.4	Professional Engineer Services	1	LS	\$	\$
2.0	Warehouse Roofing				
2.1	Remove and replace existing 18-gauge Butlerib Roofing including Insulation	14,400	SF	\$	\$
2.2	Remove and replace roof ridge cover (same width as existing)	180	LF	\$	\$
2.3	Remove and replace transversal roof metal flashing (same width as existing)	160	LF	\$	\$
2.4	Remove and replace metal gutter (same dimensions as existing)	360	LF	\$	\$
2.5	Remove and replace rusted roof Z purlins located near the gutter	360	LF	\$	\$
2.6	Supply and install additional new roof Z purlins for wind load protection as recommended by the Professional Structural Engineer	720	LF	\$	\$
3.0	Warehouse Siding				
3.1	Remove and replace existing 18-gauge Butlerib Siding including Insulation	15,600	SF	\$	\$

Item No.	Description	Qty	Unit	Unit Price	Extended Amount
3.2	Remove and replace corner siding metal flashings (same width as existing)	120	LF	\$	\$
3.3	Remove and replace 1 topmost Z and 2 bottommost Z girts	1,080	LF	\$	\$
3.4	Remove and replace metal downspout	300	LF	\$	\$
3.5	Remove and replace corner flashing	120	LF	\$	\$
3.6	Supply and install new base angle and base trim	480	LF	\$	\$
4.0	Exterior Metal Stair				
4.1	Demolish existing exterior stair including overhead roofing	1	LF	\$	\$
4.2	Install new exterior stair, with compliant railing at new location, complete with roof cover, and supports	1	LF	\$	\$
4.3	Provide 3'Lx2'Wx4"H concrete landing	1	LF	\$	\$
4.4	Painting of new exterior metal stair	1	LF	\$	\$
5.0	Metal Door/Roll-up Doors/Ventilation				
5.1	Demolish existing metal door (for existing exterior stair)	1	EA	\$	\$
5.2	Supply and Install Exterior Hollow Metal Door, including hardware (for new Exterior Metal Stair)	1	EA	\$	\$
5.3	Remove and replace the existing 12' wide x 15' high motor-operated roll-up door, including guides, jamb frames, and canopy supports	1	LF	\$	\$
5.4	Remove and replace the existing 12' wide x 13' high motor-operated roll-up door, including guides, jamb frames, and canopy supports	2	EA	\$	\$
5.5	Supply and install Aluminum Louver (size to be determined by Professional Mechanical Engineer)	4	EA	\$	\$

Item No.	Description	Qty	Unit	Unit Price	Extended Amount
5.6	Supply and install Electric Explosion Proof Shutter Mounted Exhaust Fan (3,600 CFM min - assumed)	4	EA	\$	\$
6.0	Ground Floor and Mezzanine Office				
6.1	Remove and replace acoustic ceiling tiles (24"x48" and 24"x24") including aluminum grid framing	2,970	SF	\$	\$
6.2	Remove and replace existing 5/8" gypsum board wall with sound insulation, metal studs, top and bottom rails, and painting	8,736	SF	\$	\$
6.3	Remove and replace 3'-0"x6'-8" single swing wooden door complete with jamb, hardware, and painting	12	EA	\$	\$
6.4	Remove and replace 6'-0"x6'-8" double swing wooden door complete with jamb, hardware, and painting	1	EA	\$	\$
6.5	Remove and replace 3'-8"x4'-0" glass window with wooden frame, painted.	10	EA	\$	\$
6.6	Remove and replace 3'-8"x12'-0" glass window with wooden frame, painted.	1	EA	\$	\$
6.7	Remove Mezzanine floor vinyl flooring and replace with 18"x18'x3/8" ceramic tiles	1,506	SF	\$	\$
7.0	Electrical and Mechanical Works				
7.1	Remove 24"x48" recessed ceiling lighting fixtures per sheet E-1 and replace with 24"x48" recessed ceiling lighting fixture, energy efficient lamp and ballast per sheet E-4.	42	EA	\$	\$
7.2	Remove 24"x24" recessed ceiling lighting fixtures per sheet E-1 and replace with 24"x24" recessed ceiling lighting fixture, energy efficient lamp and ballast per sheet E-4.	6	EA	\$	\$

Item No.	Description	Qty	Unit	Unit Price	Extended Amount
7.3	Install 2 series of 8'-0" long fluorescent lighting fixture, energy efficient lamp and ballast supported by hangers per sheet E-4.	10	EA	\$	\$
7.4	Remove series of 8'-0" long fluorescent lighting fixtures per sheet E-1 and replace with energy efficient lamp and ballast per sheet E-4.	85	EA	\$	\$
7.5	Remove and replace exterior LED lighting fixtures and conductors per sheet E-7.	3	EA	\$	\$
7.6	Remove and replace exterior LED flood lights and conductors per sheet E-7.	2	EA	\$	\$
7.7	Supply and install air conditioning units at the ground and mezzanine floor offices complete with electrical wirings, capacities to be determined by the Professional Mechanical Engineers	1	LS	\$	\$
8.0	De-rusting and Coating of Structural Framing				
8.1	De-rusting of existing structural frame and application of rust protection.	1	LS	\$	\$
Total Base Bid					\$
Write out total base bid amount in words below					

ADDITIVE BID (OPTIONAL)

Item No.	Description	Qty	Unit	Unit Price	Extended Amount
1.0	Temporary Warehouse Housing				
1.1	Provide a warehouse for the temporary relocation of the current personnel and inventory in the existing warehouse the meets the following minimum requirements: a. Warehouse interior area = 6000 sf. b. Airconditioned office space inside the warehouse for 5 personnel complete with telephone and internet access, lighting, outlets for electrical devices, lockable office doors (tables and chairs by GWA). c. Bathroom d. With at least 2 roll-up doors with minimum width of 15'. e. Enough space for off-loading 40-ft. containers. f. Adequate interior lighting for daily and standby operations g. Fencing around the warehouse with lockable gates. h. Adequate exterior lighting.	1	LS	\$	\$
2.0	Warehouse Extension				
2.1	Construct a warehouse extension (20'x80') at eastern side of existing warehouse complete and operational including but not limited to civil works including water and sewer service connections, structural, mechanical including sprinkler system and air-conditioning system, plumbing, electrical, CCTV and telecommunication per drawing layout on Sheet C-12.	1	LS	\$	\$
Total Additive Bid					\$
Write out total additive bid amount in words below					

Total Base Bid plus Additive Bid	\$
Write out total bid amount in words below	

This Contract will be awarded to the lowest responsive and responsible bidder based on the total Base Bid Schedule. Determination of the lowest responsive and responsible bidder will be in accordance with the provisions of the Bid Documents.

Bidder acknowledges that estimated quantities are not guaranteed, and are solely for the purpose of comparison of Bids, and final payment for all unit price Bid items will be based on actual quantities, determined as provided in the Contract Documents. Bidder also acknowledges that each unit price includes an amount considered by Bidder to be adequate to cover Bidder’s overhead and profit for each separately identified item.

ARTICLE 6 - TIME OF COMPLETION

- 6.01 Bidder agrees that the furnishing of Goods and Special Services will conform to the schedule set forth in Article 5 of the Agreement.

- 6.02 Bidder accepts the provisions of the Agreement as to liquidated damages.

ARTICLE 7 - ATTACHMENTS TO THIS BID

- 7.01 The following documents are attached to and made a condition of this Bid:
 - A. Required Bid security in the form of _____.
 - B. List of Proposed Major Suppliers;
 - C. Required Bidder Qualification Statement with Supporting Data.

ARTICLE 8 - DEFINED TERMS

- 8.01 The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 9 - BID SUBMITTAL

9.01 This Bid submitted by:

If Bidder is:

An Individual

Name (typed or printed): _____

By: _____
(Individual's signature)

Doing business as: _____

Business address: _____

Phone: _____ Facsimile: _____

E-mail address: _____

A Partnership

Partnership Name: _____ (SEAL)

By: _____
(Signature of general partner - attach evidence of authority to sign)

Name (typed or printed): _____

Business address: _____

Phone: _____ Facsimile: _____

E-mail address: _____

A Corporation

Corporation Name: _____

State of Incorporation: _____

Type (General Business, Professional, Service, other): _____

By: _____
(Signature - attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

(CORPORATE SEAL)

Attest _____
(Signature of Corporate Secretary)

Business address: _____

Phone: _____ Facsimile: _____
E-mail address: _____

A Limited Liability Company (LLC)

LLC Name: _____
State in which organized: _____

By: _____
(Signature - attach evidence of authority to sign)

Name (typed or printed): _____
Title: _____
Business address: _____

Phone: _____ Facsimile: _____
E-mail address: _____

A Joint Venture

First Joint Venturer Name: _____ (SEAL)

By: _____
(Signature - attach evidence of authority to sign)

Name (typed or printed): _____
Title: _____
Business address: _____

Phone: _____ Facsimile: _____
E-mail address: _____

Second Joint Venturer Name: _____ (SEAL)

By: _____
(Signature - attach evidence of authority to sign)

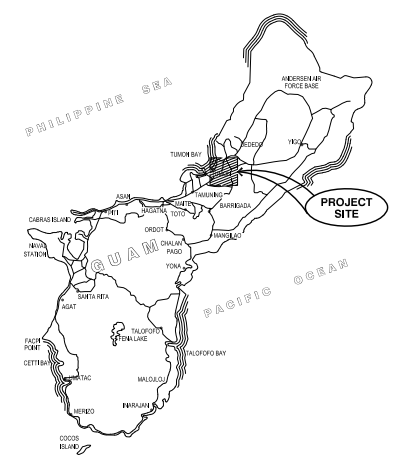




Name (typed or printed): _____
Title: _____
Business address: _____

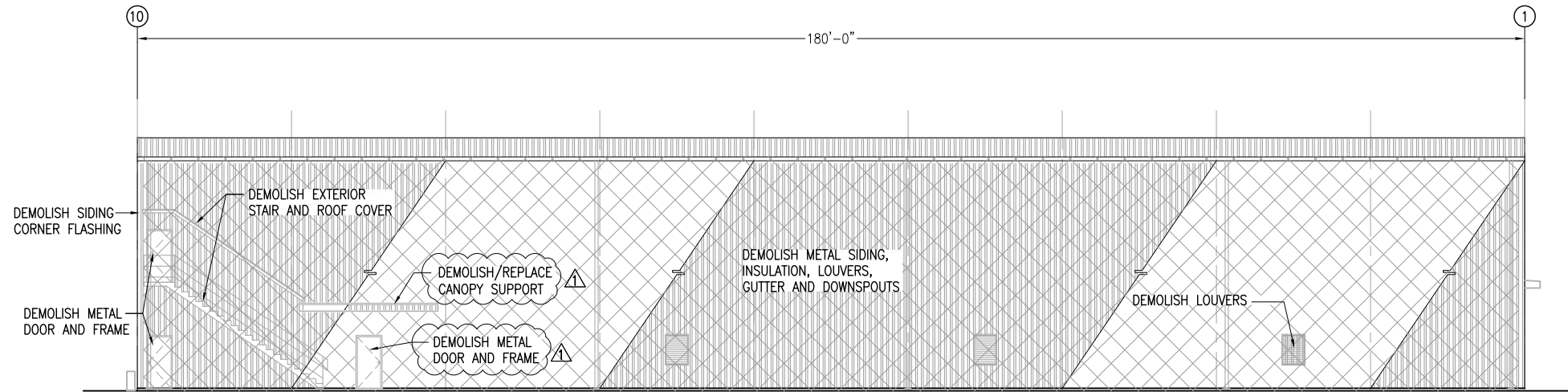
Phone: _____ Facsimile: _____
E-mail address: _____

Phone and Facsimile Number, and Address for receipt of official communications to Joint Venture:____

(Each joint venturer must sign. The manner of signing for each individual, partnership, corporation, and limited liability company that is a party to the joint venture should be in the manner indicated above.)

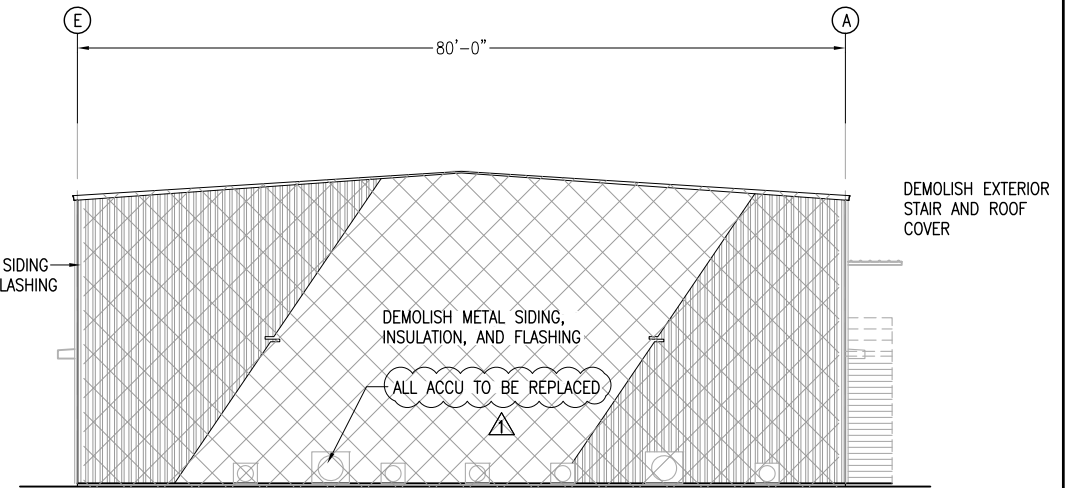
GOVERNMENT OF GUAM GUAM WATERWORKS AUTHORITY GWA PROJECT No. IFB-01-ENG-2025 DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION (CONCEPTUAL DRAWINGS)

LOCATION MAP	INDEX OF DRAWINGS	GENERAL NOTES																																																															
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">DRAWING NO.</th> <th style="width: 10%;">SHEET NO.</th> <th style="width: 80%;">TITLE, LOCATION MAP, VICINITY MAP, INDEX OF DRAWINGS, NOTES</th> </tr> </thead> <tbody> <tr><td>G-100</td><td>1 OF 20</td><td>TITLE, LOCATION MAP, VICINITY MAP, INDEX OF DRAWINGS, NOTES</td></tr> <tr><td>C-1</td><td>2 OF 20</td><td>ROOF PLAN AND SECTION - EXISTING</td></tr> <tr><td>C-2</td><td>3 OF 20</td><td>BUILDING ELEVATIONS - EXISTING</td></tr> <tr><td>C-3</td><td>4 OF 20</td><td>ROOF AND SECTION DEMOLITION - EXISTING</td></tr> <tr><td>C-4</td><td>5 OF 20</td><td>METAL SIDINGS DEMOLITION - EXISTING</td></tr> <tr><td>C-5</td><td>6 OF 20</td><td>ROOF PLAN AND FRONT ELEVATION - NEW</td></tr> <tr><td>C-6</td><td>7 OF 20</td><td>REAR AND SIDES ELEVATIONS - NEW</td></tr> <tr><td>C-7</td><td>8 OF 20</td><td>GROUND AND MEZZANINE FLOOR PLAN - EXISTING</td></tr> <tr><td>C-8</td><td>9 OF 20</td><td>GROUND AND MEZZANINE FLOOR PLAN - DEMOLITION</td></tr> <tr><td>C-9</td><td>10 OF 20</td><td>GROUND AND MEZZANINE FLOOR PLAN - NEW</td></tr> <tr><td>C-10</td><td>11 OF 20</td><td>GROUND AND MEZZANINE FLOOR PAVING PLAN - NEW</td></tr> <tr><td>C-11</td><td>12 OF 20</td><td>DOOR AND WINDOW TYPES</td></tr> <tr><td>C-12</td><td>13 OF 20</td><td>WAREHOUSE EXTENSION</td></tr> <tr><td>E-1</td><td>14 OF 20</td><td>GROUND AND MEZZANINE FLOOR REFLECTED CEILING PLAN - EXISTING/DEMOLITION</td></tr> <tr><td>E-2</td><td>15 OF 20</td><td>GROUND AND MEZZANINE FLOOR POWER PLAN - EXISTING/DEMOLITION</td></tr> <tr><td>E-3</td><td>16 OF 20</td><td>GROUND AND MEZZANINE FLOOR CCTV/TELECOMMUNICATION PLAN - EXISTING/DEMOLITION</td></tr> <tr><td>E-4</td><td>17 OF 20</td><td>GROUND AND MEZZANINE FLOOR REFLECTED CEILING PLAN - NEW</td></tr> <tr><td>E-5</td><td>18 OF 20</td><td>GROUND AND MEZZANINE FLOOR POWER PLAN, GENERAL ELECTRICAL NOTES - NEW</td></tr> <tr><td>E-6</td><td>19 OF 20</td><td>GROUND AND MEZZANINE FLOOR CCTV/TELECOMMUNICATION PLAN - NEW</td></tr> <tr><td>E-7</td><td>20 OF 20</td><td>MISCELLANEOUS ELECTRICAL WORK</td></tr> </tbody> </table>	DRAWING NO.	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THE REPLACEMENT INCLUDES APPURTENANCES SUCH AS INSULATION, GUTTERS, FLASHINGS, DOWNSPOUTS, ROLL-UP DOORS WITH CANOPIES, AND LOUVERS AMONG OTHERS. ROOF CLOSURE STRIPS SHALL BE PROVIDED AT LOCATIONS RECOMMENDED BY ROOF MANUFACTURER. SOME OF THE BASE PLATES AND ANCHOR BOLTS ARE RUSTED DUE TO WATER EXPOSURE. THE CONTRACTOR'S LICENSED STRUCTURAL ENGINEER SUB-CONSULTANT SHALL ASSESS THE STRUCTURAL INTEGRITY OF RUSTED BASE PLATES/ANCHOR BOLTS AND SUBMIT RECOMMENDATION(S) ON HOW TO ADDRESS THESE ISSUES. WORK REQUIRED MAY BE ISSUED AS A CHANGE ORDER OR AS A SEPARATE PROJECT FOR BID. THE EXISTING WAREHOUSE IS INADEQUATELY VENTILATED. THE CONTRACTOR'S LICENSED MECHANICAL ENGINEER SUB-CONSULTANT SHALL DESIGN THE SIZE AND CAPACITY OF LOUVERS AND EXHAUST FANS NEEDED FOR PROPER VENTILATION. DRAWINGS AND DESIGN CALCULATIONS SHALL BE SUBMITTED TO GWA FOR APPROVAL. ELECTRIC EXHAUST FANS AND LOUVERS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ELECTRIC EXHAUST FANS SHALL HAVE A SEPARATE ELECTRICAL CIRCUIT AND BREAKER. ANY REFERENCE TO A CODE OR STANDARD SHALL BE UNDERSTOOD TO REFER TO THE LATEST EDITION AND/OR REVISION OF THAT CODE OR STANDARD UNLESS NOTED OTHERWISE. THE EXISTING WAREHOUSE SHALL BE OPERATIONAL DURING CONSTRUCTION. REPLACEMENT OF ROOFING AND SIDINGS SHALL BE COORDINATED WITH THE WAREHOUSE MANAGER TO AVOID DISRUPTION OF SERVICE. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEASURES TO PREVENT RAINWATER ENTERING THE WAREHOUSE IN THE EVENT THAT IT RAINS WHILE REPLACING PART OF THE METAL ROOFING OR SIDING. EXISTING FACILITIES INCLUDING BUT NOT LIMITED TO ROADS, WALLS, FENCES, AND STRUCTURE DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE RESTORED TO MATCH ORIGINAL CONDITION TO THE SATISFACTION OF OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST TO THE GOVERNMENT. THE CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY, AND ENVIRONMENTAL QUALITY. ALL WORK PERFORMED IN THE CONSTRUCTION INDUSTRY THAT IS 6 FT. OR MORE ABOVE THE NEXT LOWER LEVEL SHALL HAVE FALL PROTECTION SYSTEM. THE EXISTING METAL ROOFING AND SIDINGS ARE INTENDED TO BE REUSED FOR OTHER PROJECTS, THEREFORE, PROPER CARE MUST BE OBSERVED WHEN REMOVING EXISTING ROOFING AND SIDINGS. DEMOLISHED ROOFING AND SIDING MATERIALS SHALL BE STORED AT LOCATION WITHIN THE PERIMETER AS DESIGNATED BY WAREHOUSE MANAGER.
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C-4	5 OF 20	METAL SIDINGS DEMOLITION - EXISTING																																																															
C-5	6 OF 20	ROOF PLAN AND FRONT ELEVATION - NEW																																																															
C-6	7 OF 20	REAR AND SIDES ELEVATIONS - NEW																																																															
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C-8	9 OF 20	GROUND AND MEZZANINE FLOOR PLAN - DEMOLITION																																																															
C-9	10 OF 20	GROUND AND MEZZANINE FLOOR PLAN - NEW																																																															
C-10	11 OF 20	GROUND AND MEZZANINE FLOOR PAVING PLAN - NEW																																																															
C-11	12 OF 20	DOOR AND WINDOW TYPES																																																															
C-12	13 OF 20	WAREHOUSE EXTENSION																																																															
E-1	14 OF 20	GROUND AND MEZZANINE FLOOR REFLECTED CEILING PLAN - EXISTING/DEMOLITION																																																															
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E-7	20 OF 20	MISCELLANEOUS ELECTRICAL WORK																																																															
<p>VICINITY MAP</p> 	<p>LEGEND AND SYMBOLS</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%;">SYMBOLS</th> <th style="width: 25%;">DESCRIPTION</th> <th style="width: 25%;">SYMBOLS</th> <th style="width: 25%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td></td> <td>AIR-COOLED CONDENSING UNIT (ACCU)</td> <td></td> <td>24" X 48" RECESS CEILING LIGHT FIXTURE (EXISTING)</td> </tr> <tr> <td></td> <td>DEMOLITION (BASE BID)</td> <td></td> <td>24" X 24" RECESS CEILING LIGHT FIXTURE (EXISTING)</td> </tr> <tr> <td></td> <td>DEMOLITION (ADDITIVE BID)</td> <td></td> <td>24"X48" ACOUSTICAL CEILING TILE WITH ALUMINUM GRID SYSTEM (NEW)</td> </tr> <tr> <td></td> <td>ELECTRIC EXHAUST FAN</td> <td></td> <td>24"X24" ACOUSTICAL CEILING TILE WITH ALUMINUM GRID SYSTEM (NEW)</td> </tr> <tr> <td></td> <td>ELECTRICAL PANEL</td> <td></td> <td>8'-0" LONG FLOURESCENT LIGHT FIXTURE (NEW)</td> </tr> <tr> <td></td> <td>ELECTRICAL POWER METER</td> <td></td> <td>CERAMIC TILE</td> </tr> <tr> <td></td> <td>LOUVER</td> <td></td> <td>CHAIN LINK FENCE</td> </tr> <tr> <td></td> <td>METAL OR WOODEN DOOR</td> <td></td> <td>GLASS WINDOW</td> </tr> <tr> <td></td> <td>STAIR, METAL</td> <td></td> <td>GYPSUM BOARD CEILING ON METAL STUDS FRAMING</td> </tr> <tr> <td></td> <td>WAREHOUSE ROOFING OR SIDING</td> <td></td> <td>GYPSUM BOARD STUD WALL</td> </tr> <tr> <td></td> <td>STEEL COLUMN</td> <td></td> <td>INCANDESCENT BULB</td> </tr> <tr> <td></td> <td>STEEL POST</td> <td></td> <td>COMMUNICATION OUTLET</td> </tr> </tbody> </table>		SYMBOLS	DESCRIPTION	SYMBOLS	DESCRIPTION		AIR-COOLED CONDENSING UNIT (ACCU)		24" X 48" RECESS CEILING LIGHT FIXTURE (EXISTING)		DEMOLITION (BASE BID)		24" X 24" RECESS CEILING LIGHT FIXTURE (EXISTING)		DEMOLITION (ADDITIVE BID)		24"X48" ACOUSTICAL CEILING TILE WITH ALUMINUM GRID SYSTEM (NEW)		ELECTRIC EXHAUST FAN		24"X24" ACOUSTICAL CEILING TILE WITH ALUMINUM GRID SYSTEM (NEW)		ELECTRICAL PANEL		8'-0" LONG FLOURESCENT LIGHT FIXTURE (NEW)		ELECTRICAL POWER METER		CERAMIC TILE		LOUVER		CHAIN LINK FENCE		METAL OR WOODEN DOOR		GLASS WINDOW		STAIR, METAL		GYPSUM BOARD CEILING ON METAL STUDS FRAMING		WAREHOUSE ROOFING OR SIDING		GYPSUM BOARD STUD WALL		STEEL COLUMN		INCANDESCENT BULB		STEEL POST		COMMUNICATION OUTLET											
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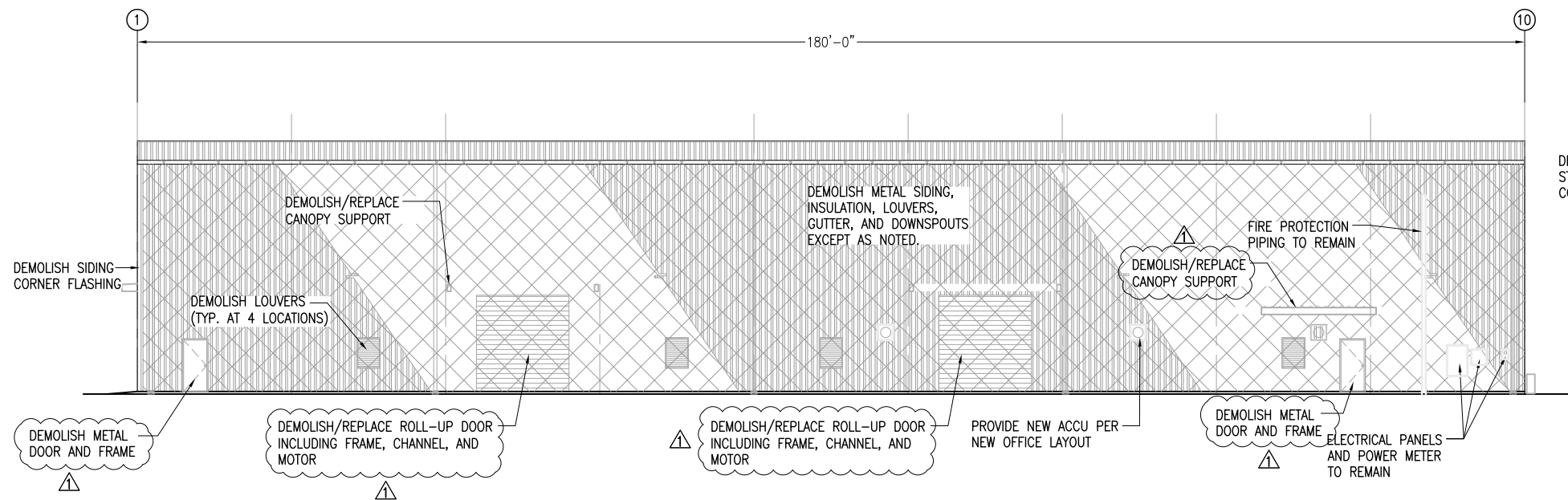


1B REAR ELEVATION
HORIZ. SCALE: 1"=10'-0"

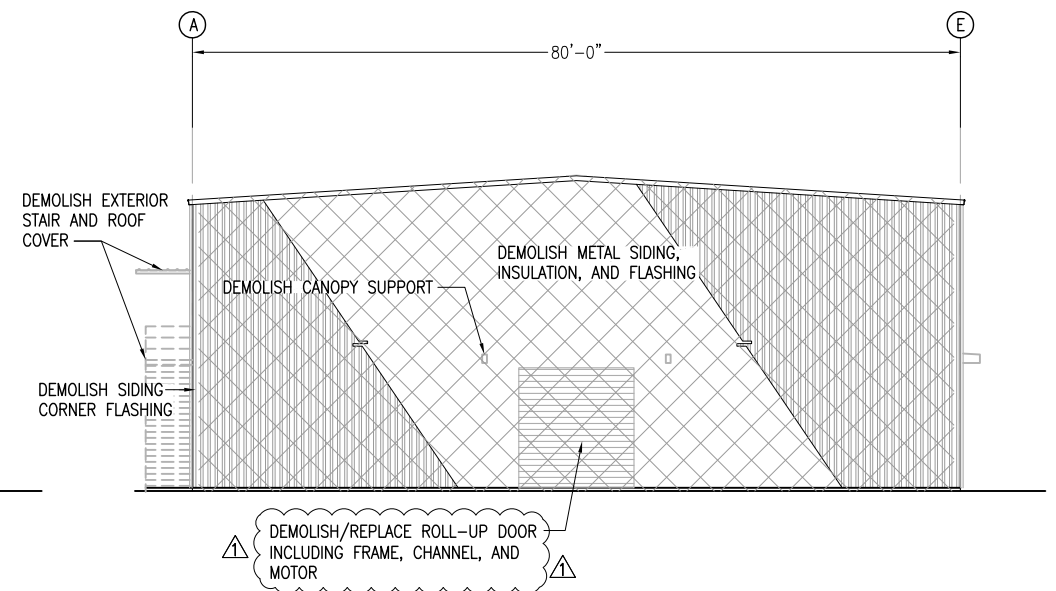
NOTE:
1. ITEMS DESIGNATED TO REMAIN MAY REQUIRE REMOVAL AND REINSTALLATION AFTER INSTALLATION OF METAL SIDINGS.
2. THE BOTTOM 2 WALL "Z" GIRTS AT FRONT SIDE SHALL BE REMOVED AND REPLACED.



1D RIGHT SIDE ELEVATION
HORIZ. SCALE: 1"=10'-0"



1A FRONT ELEVATION
HORIZ. SCALE: 1"=10'-0"

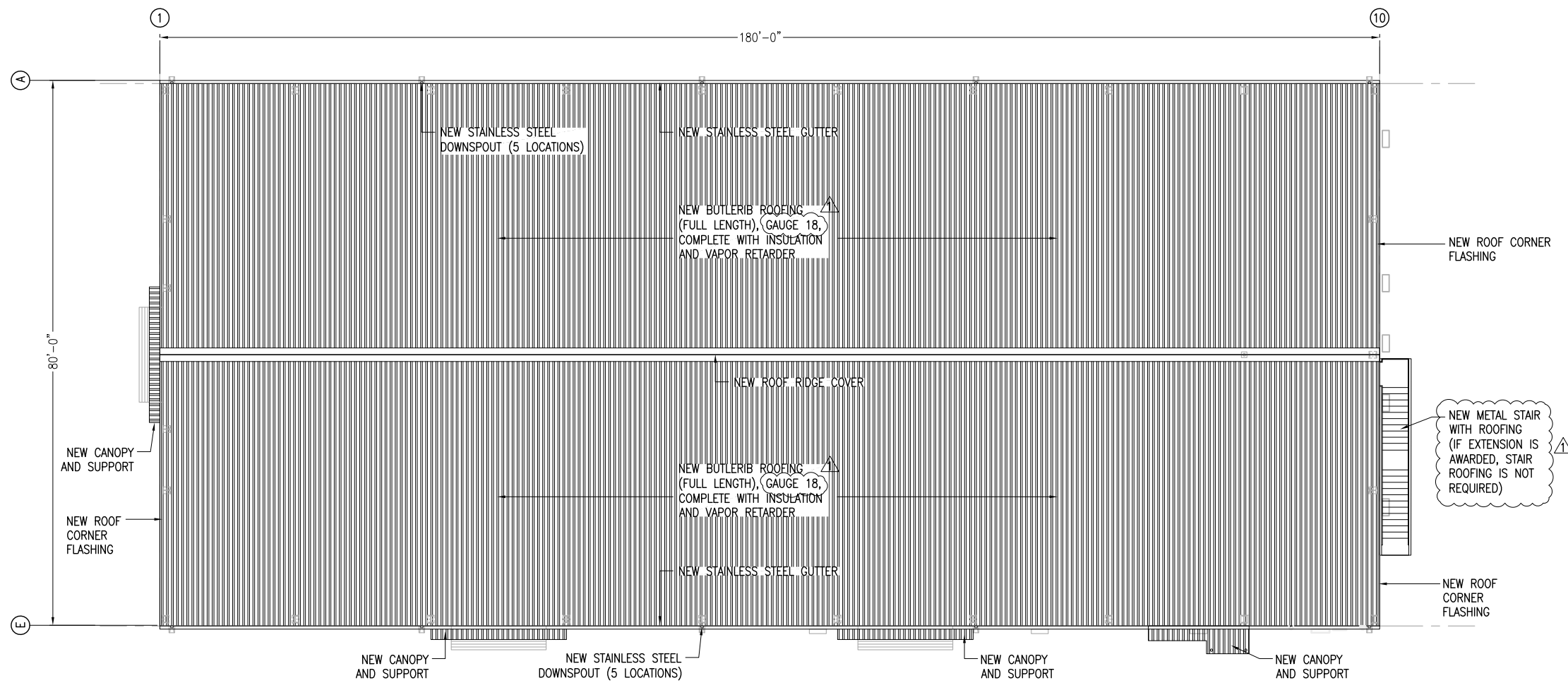


1C LEFT SIDE ELEVATION
HORIZ. SCALE: 1"=10'-0"

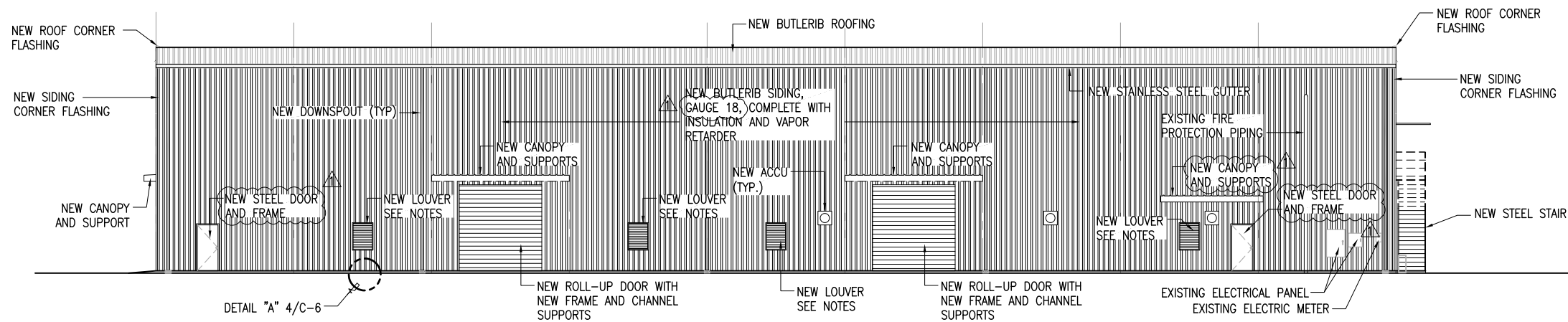
1 METAL SIDING DEMOLITION - EXISTING
HORIZ. SCALE: 1"=10'-0"

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REVISION	DATE	BY	ADDENDUM 2
	02.03.25		
GWA PROJECT NUMBER IN-HOUSE DESIGN ENGINEERING DIVISION			PROJECT: DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION
DES. BY:	CHK. BY:	CONTENTS:	ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	METAL SIDING DEMOLITION - EXISTING	SHEET NO.: C-4
CHIEF ENGR:			SHEET 5 OF 20



1 ROOF PLAN - NEW
HORIZ. SCALE: 1"=10'-0"



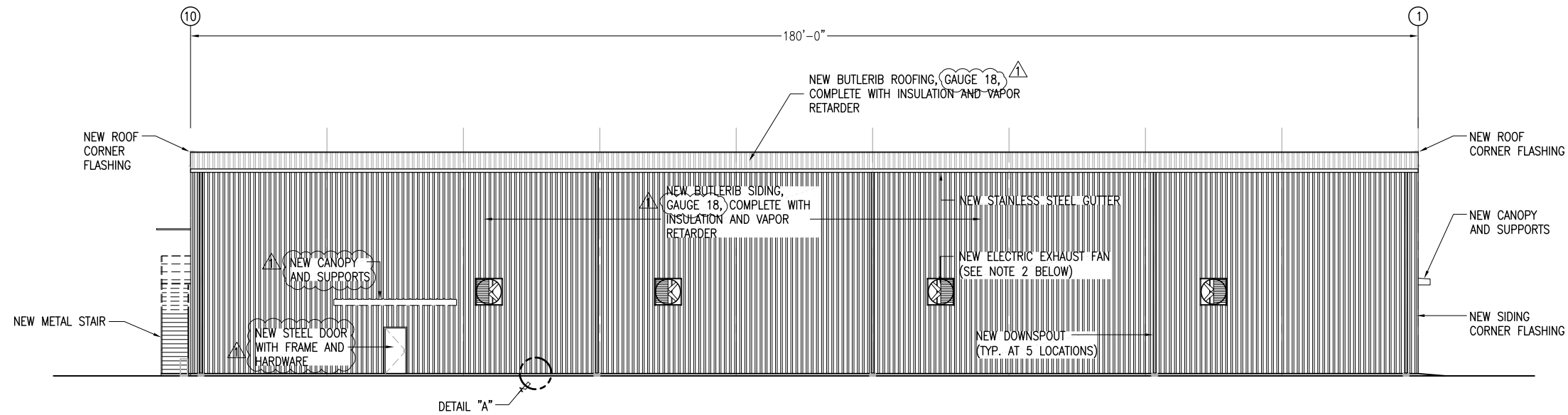
2 FRONT ELEVATION - NEW
HORIZ. SCALE: 1"=10'-0"

NOTES:

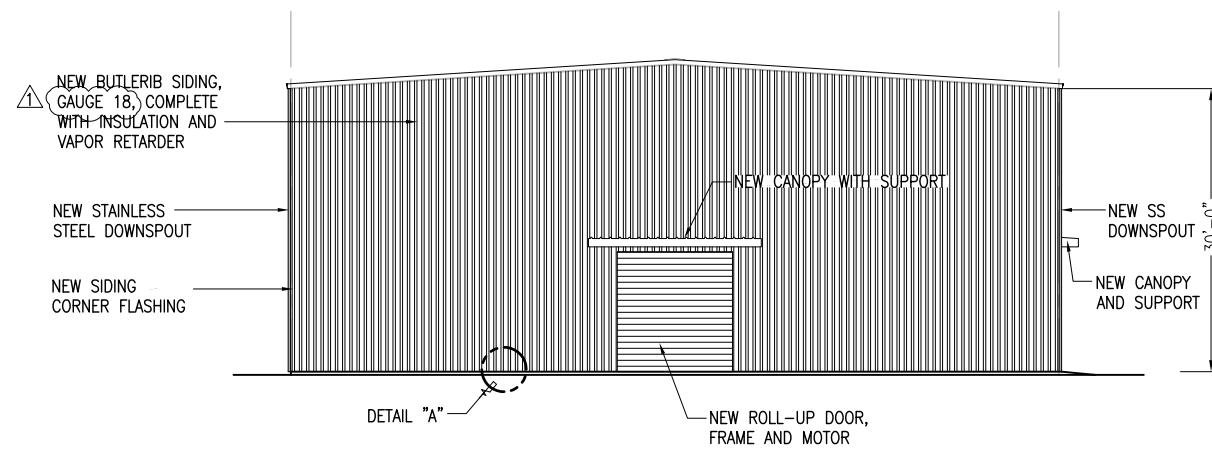
1. THE NUMBER, CAPACITY, AND LOCATION OF WALL MOUNTED ELECTRIC EXHAUST FANS AND APPROPRIATE SIZE OF LOUVERS SHALL BE DETERMINED BY MECHANICAL ENGINEER TO PROVIDE ADEQUATE AIR VENTILATION. CALCULATIONS SIGNED AND STAMPED BY MECHANICAL ENGINEER SHALL BE PROVIDED.
2. ELECTRIC EXHAUST FANS AND LOUVERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ELECTRIC EXHAUST FANS SHALL HAVE A SEPARATE ELECTRICAL CIRCUIT AND BREAKER.
3. PROVIDE NEW ACCU PER NEW OFFICE LAYOUT.
4. ALL MATERIALS SHALL BE APPROVED PRIOR TO ORDERING. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF CONNECTION DETAILS.
5. METAL ROOFING AND SIDINGS SHALL HAVE THE SAME COLOR AS THE EXISTING.
6. METAL ROOFING AND SIDINGS SHALL BE FULL LENGTH WITHOUT LAP.

This drawing was prepared by me or was under my direct supervision.

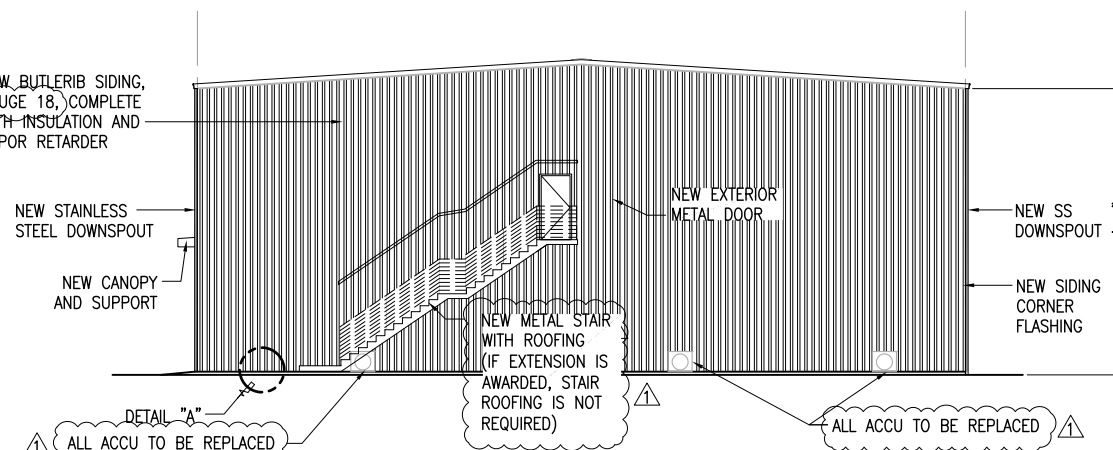
REVISION	DATE	BY	ADDENDUM 2
	02.03.25		
GWA PROJECT NUMBER IN-HOUSE DESIGN ENGINEERING DIVISION			PROJECT: DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION
DES. BY:	CHK. BY:	CONTENTS:	ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	ROOF PLAN AND FRONT ELEVATION - NEW	SHEET NO.: C-5
CHIEF ENGR:			SHEET 6 OF 20



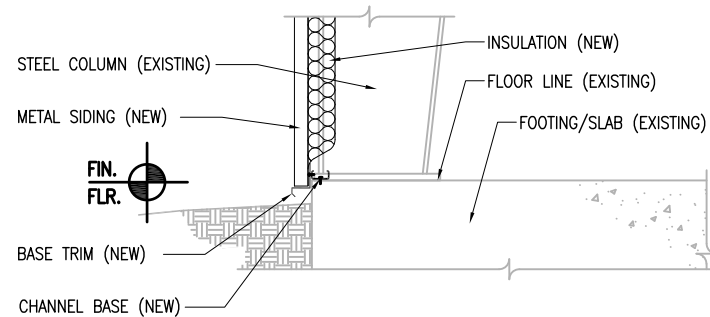
1 REAR ELEVATION - NEW
HORIZ. SCALE: 1"=10'-0"



2 LEFT SIDE ELEVATION - NEW
HORIZ. SCALE: 1"=10'-0"



3 RIGHT SIDE ELEVATION - NEW
HORIZ. SCALE: 1"=10'-0"



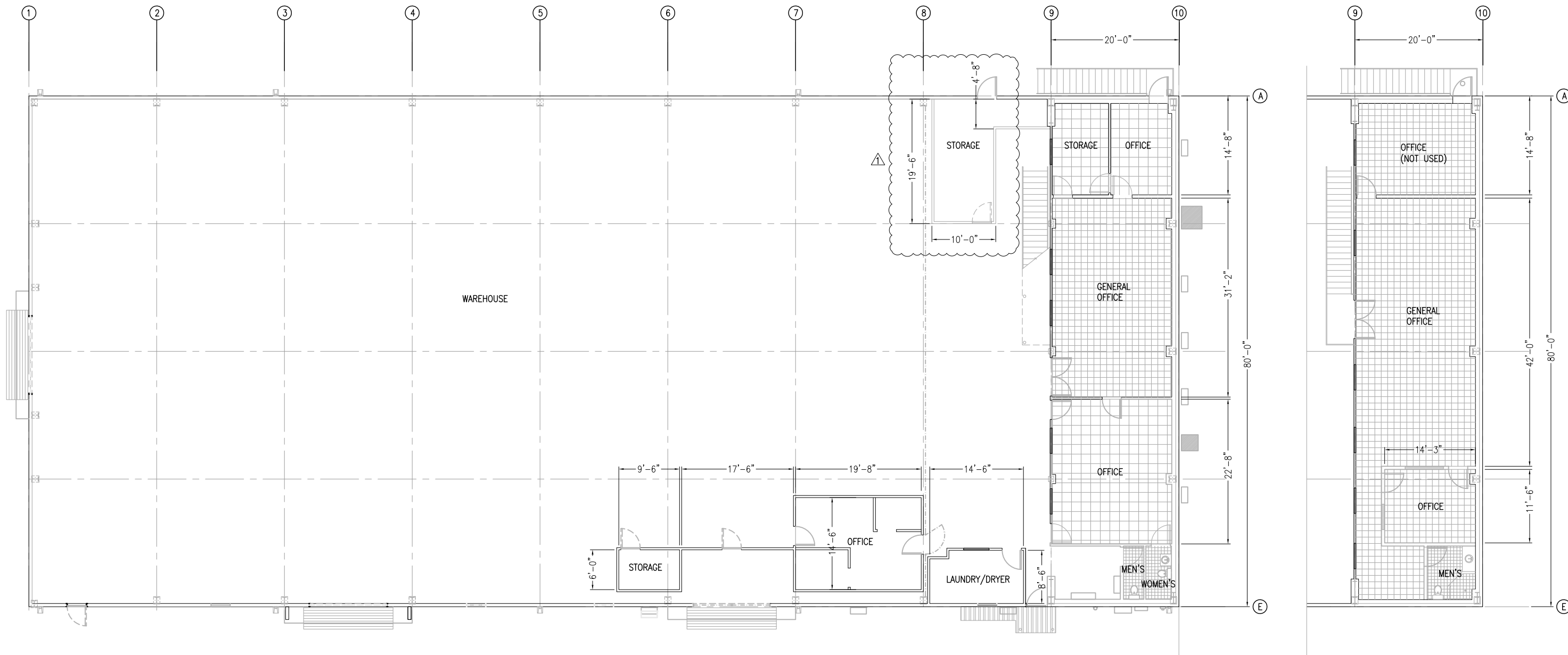
4 DETAIL "A"
HORIZ. SCALE: NTS







NOTES:

1. THE NUMBER, CAPACITY, AND LOCATION OF WALL MOUNTED ELECTRIC EXHAUST FANS AND APPROPRIATE SIZE OF LOUVERS SHALL BE DETERMINED BY MECHANICAL ENGINEER TO PROVIDE ADEQUATE AIR CIRCULATION. CALCULATIONS SIGNED AND STAMPED BY MECHANICAL ENGINEER SHALL BE PROVIDED.
2. ELECTRIC EXHAUST FANS AND LOUVERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ELECTRIC EXHAUST FANS SHALL HAVE A SEPARATE ELECTRICAL CIRCUIT AND BREAKER.
3. ALL ACCU TO BE REPLACED.
4. ITEMS DESIGNATED TO REMAIN MAY REQUIRE REMOVAL AND REINSTALLATION AFTER COMPLETION METAL SIDINGS.
5. ALL MATERIALS SHALL BE APPROVED PRIOR TO ORDERING. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF CONNECTION DETAILS.
6. METAL ROOFING AND SIDINGS SHALL HAVE THE SAME COLOR AS THE EXISTING.
7. METAL ROOFING AND SIDINGS SHALL BE FULL LENGTH WITHOUT LAP.

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	02.03.25		
GWA PROJECT NUMBER IN-HOUSE DESIGN ENGINEERING DIVISION			PROJECT: DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION
DES. BY: CHK. BY: DRN. BY: CHK. BY: CHIEF ENGR:			CONTENTS: REAR AND SIDES ELEVATIONS - NEW
			ID NO.: XXX-XXXX SHEET NO.: C-6 SHEET 7 OF 20




-  GLASS WINDOW
-  DOOR
-  CHAIN LINK FENCE
-  GYPSUM BOARD STUD WALL
-  STEEL POST
-  STEEL COLUMN

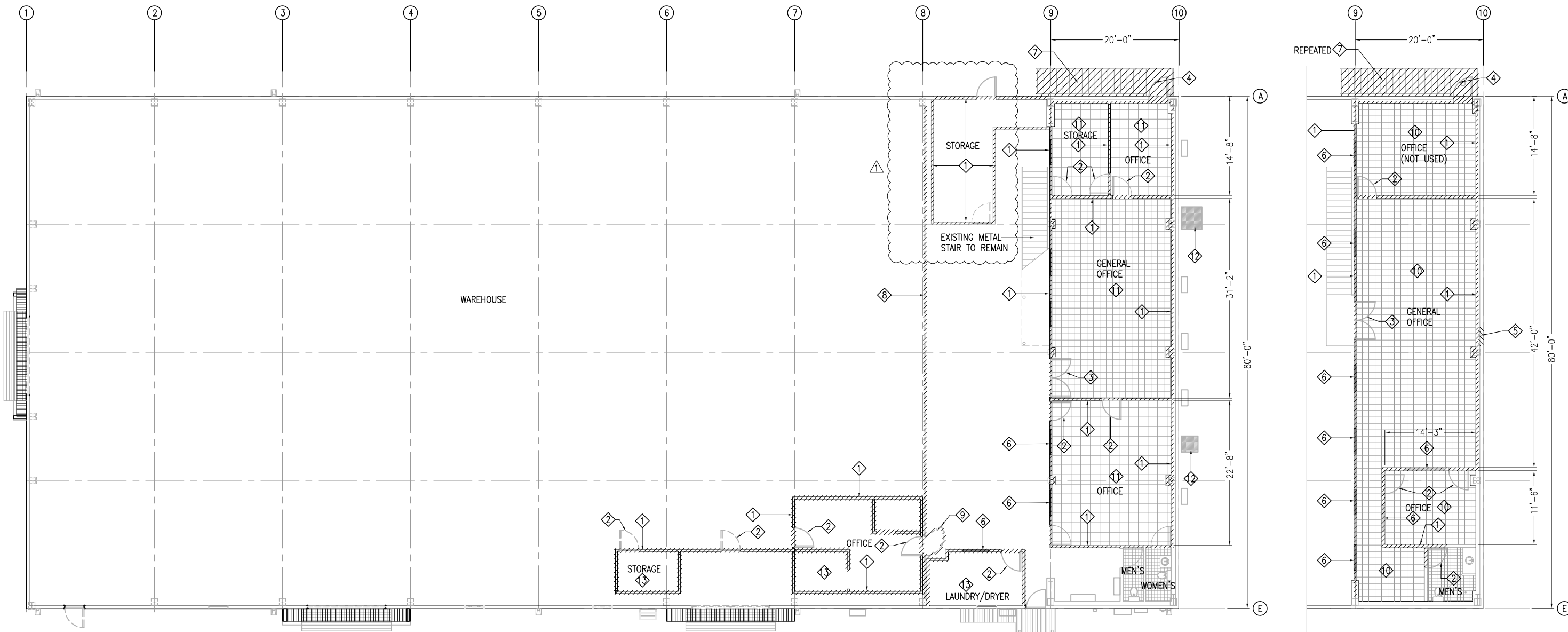
3 WALL LEGEND - EXISTING
HORIZ. SCALE: N T S

1 GROUND FLOOR PLAN - EXISTING
HORIZ. SCALE: 1"=8'-0"

2 MEZZANINE FLOOR PLAN - EXISTING
HORIZ. SCALE: 1"=8'-0"

This drawing was prepared by me or was under my direct supervision.

REVISION	DATE	BY	ADDENDUM 2	
			 GUAM WATERWORKS AUTHORITY <small>GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913</small>	
GWA PROJECT NUMBER		PROJECT:		
IN-HOUSE DESIGN		DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION		
ENGINEERING DIVISION				
DES. BY:	CHK. BY:	CONTENTS:		ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	GROUND AND MEZZANINE FLOOR PLAN - EXISTING		SHEET NO.: C-7
CHIEF ENGR:				SHEET 8 OF 20



REMOVAL AND DEMOLITION NOTES:

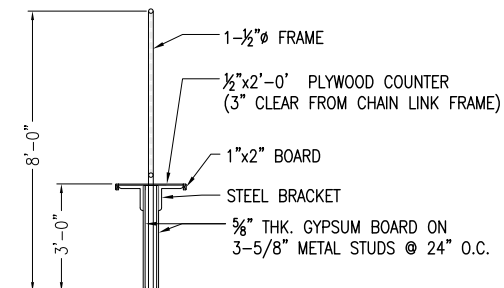
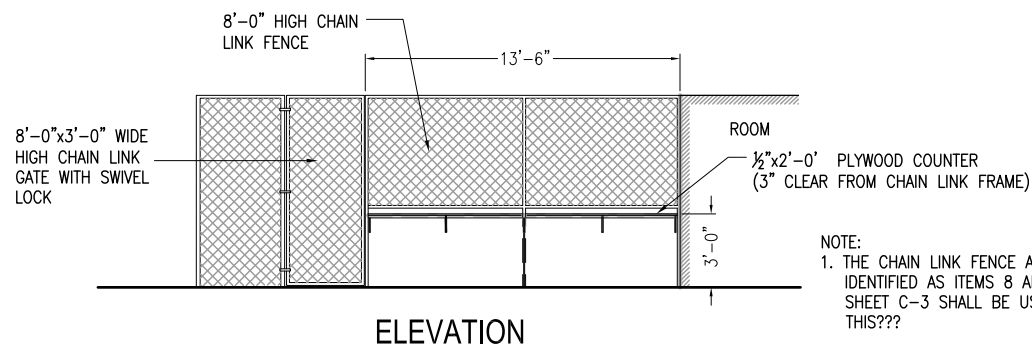
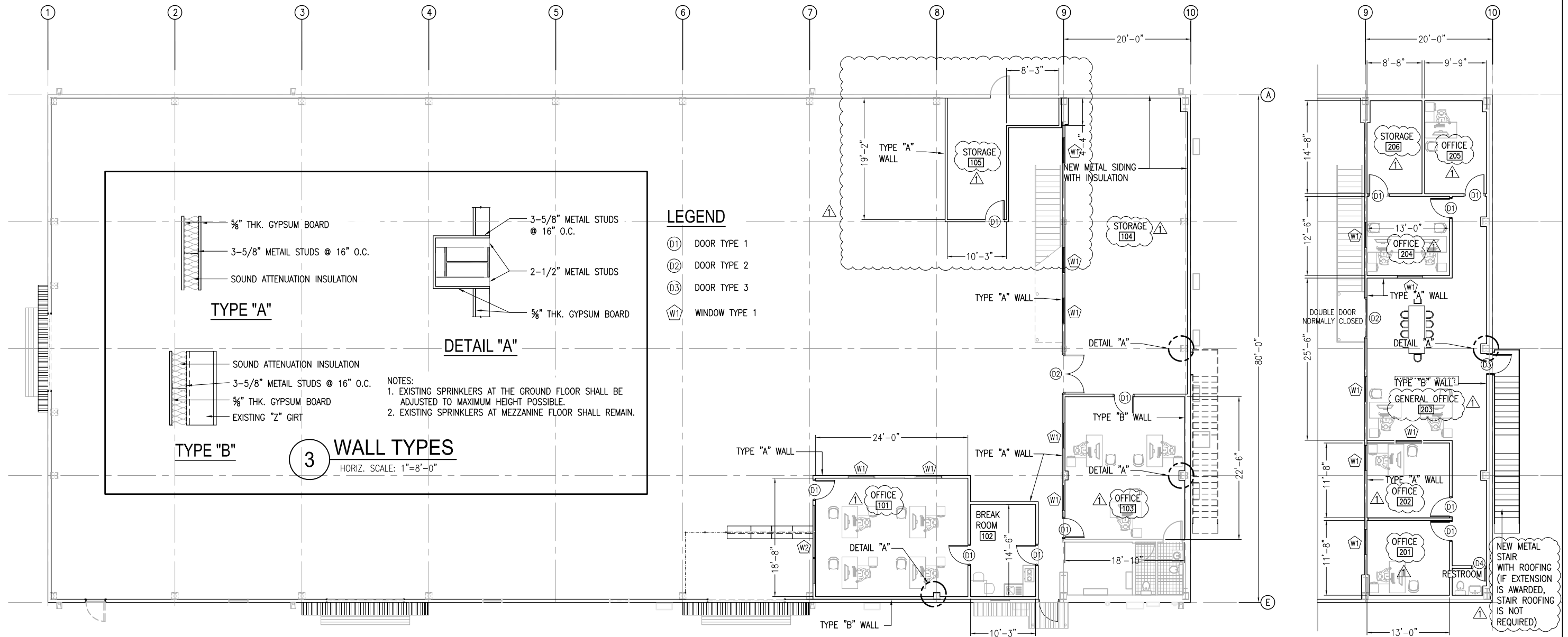
- ① EXISTING GYPSUM BOARD WALL AND FRAME TO BE REMOVED
- ② EXISTING SINGLE WOODEN DOOR AND FRAME TO BE REMOVED
- ③ EXISTING WOODEN DOUBLE DOOR AND FRAME TO BE REMOVED
- ④ EXISTING SINGLE METAL DOOR AND FRAME TO BE REMOVED (PART OF BASE BID)
- ⑤ EXISTING METAL SIDING AND GIRTS TO BE CUT AND REMOVED
- ⑥ EXISTING WINDOW AND FRAME TO BE REMOVED
- ⑦ EXISTING METAL STAIR, ROOF COVER, AND SUPPORTS TO BE REMOVED (PART OF BASE BID)
- ⑧ EXISTING CHAIN LINK FENCE TO BE REMOVED
- ⑨ EXISTING CHAIN LINK GATE TO BE REMOVED
- ⑩ EXISTING VINYL FLOORING TO BE REMOVED
- ⑪ EXISTING CERAMIC TILES TO REMAIN
- ⑫ EXISTING ACCU TO BE DEMOLISHED
- ⑬ EXISTING CEILING/ROOFING TO BE DEMOLISHED

1 GROUND FLOOR PLAN - DEMOLITION
 HORIZ. SCALE: 1"=8'-0"

2 MEZZANINE FLOOR PLAN - DEMOLITION
 HORIZ. SCALE: 1"=8'-0"

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REVISION	DATE	BY	ADDENDUM 2
	02.03.25		
<p>GUAM WATERWORKS AUTHORITY GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913</p>			
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IN-HOUSE DESIGN ENGINEERING DIVISION		DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION	
DES. BY:	CHK. BY:	CONTENTS:	ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	GROUND AND MEZZANINE FLOOR PLAN - DEMOLITION	SHEET NO.: C-8
CHIEF ENGR:			SHEET 9 OF 20

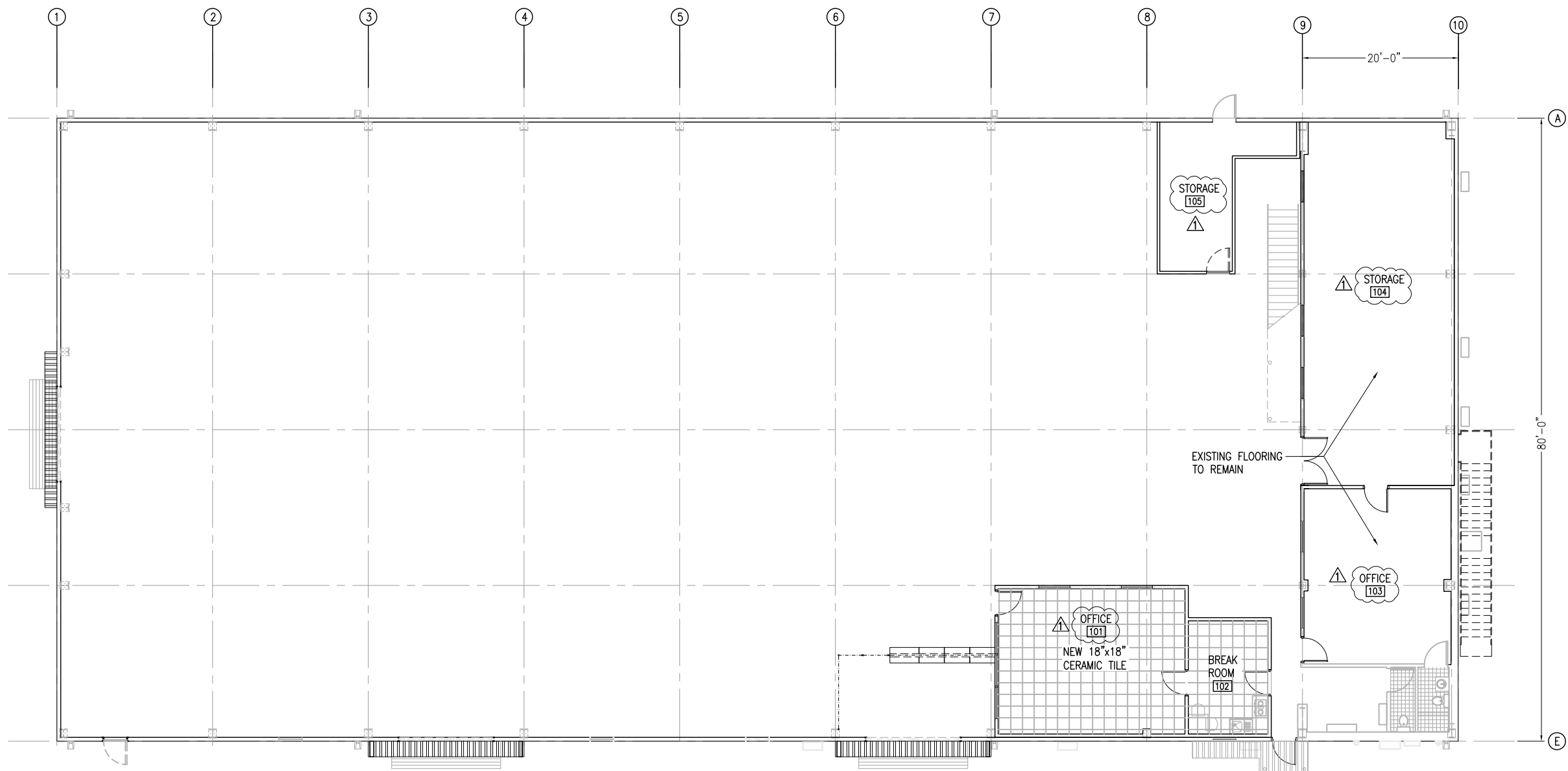


- NOTES:
 1. DOORS ORIENTATION/LOCATION CAN BE ADJUSTED.
 2. ALL OFFICES SHALL BE PROVIDED WITH NEW ACCU UNITS.

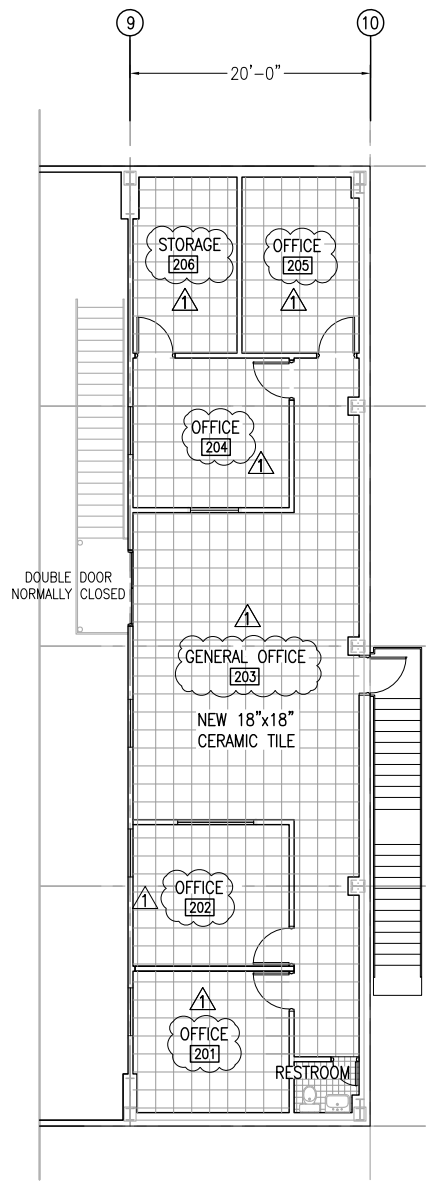
4 ELEVATION -
 HORIZ. SCALE: NTS

REVISION	DATE	BY	ADDENDUM 2
02.03.25			
 GUAM WATERWORKS AUTHORITY GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913			PROJECT: DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION
GWA PROJECT NUMBER IN-HOUSE DESIGN ENGINEERING DIVISION			ID NO.: XXX-XXXX SHEET NO.: C-9 SHEET 10 OF 20
DES. BY:	CHK. BY:	CONTENTS:	
DRN. BY:	CHK. BY:	GROUND AND MEZZANINE FLOOR PLAN - NEW	
CHIEF ENGR:			

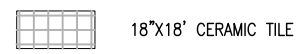
This drawing was prepared by me or was under my direct supervision.



1 GROUND FLOOR PAVING PLAN - NEW
 HORIZ. SCALE: 1"=8'-0"



2 MEZZANINE FLOOR PAVING PLAN - NEW
 HORIZ. SCALE: 1"=8'-0"

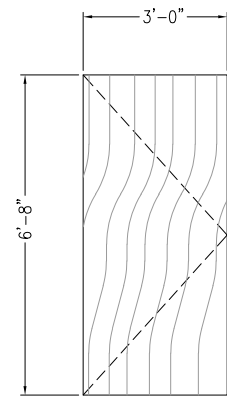


3 FLOOR PAVING LEGEND
 HORIZ. SCALE: N T S

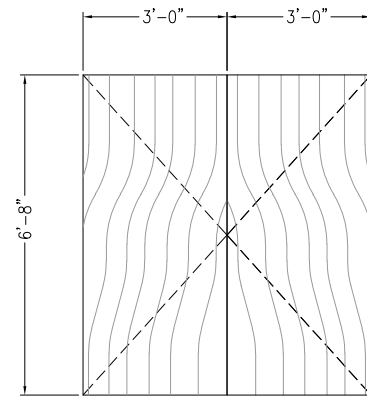
NOTE:
 1. ALL OFFICES SHALL BE PROVIDED WITH NEW ACCU.

This drawing was prepared by me or was under my direct supervision.

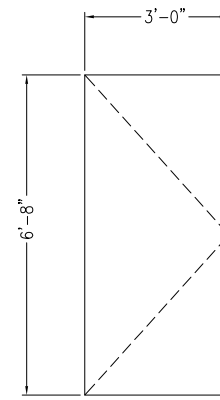
REVISION	DATE	BY	ADDENDUM 2
	02.03.25		
 GUAM WATERWORKS AUTHORITY GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913			ID NO.: XXX-XXXX SHEET NO.: C-10 SHEET 11 OF 20
GWA PROJECT NUMBER		PROJECT:	
IN-HOUSE DESIGN ENGINEERING DIVISION		DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION	
DES. BY:	CHK. BY:	CONTENTS:	
DRN. BY:	CHK. BY:	GROUND AND MEZZANINE FLOOR PAVING PLAN - NEW	
CHIEF ENGR:			



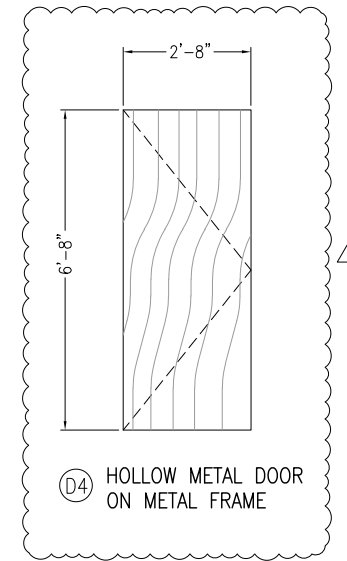
D1 SOLID CORE WOODEN DOOR ON WOOD FRAME



D2 SOLID CORE WOODEN DOOR ON WOOD FRAME



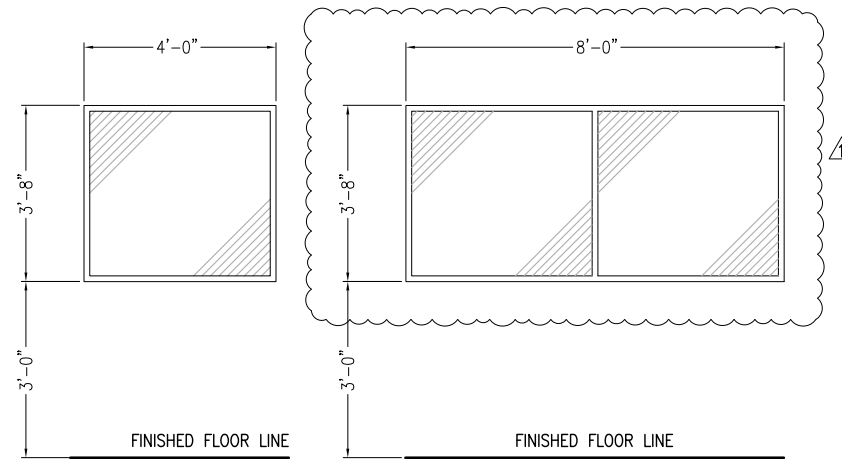
D3 HOLLOW METAL DOOR ON METAL FRAME



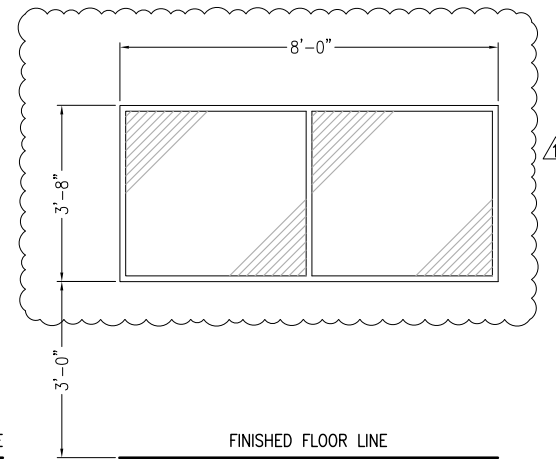
D4 HOLLOW METAL DOOR ON METAL FRAME

1 DOOR TYPES

HORIZ. SCALE: NTS



W1 FIXED GLASS WINDOW




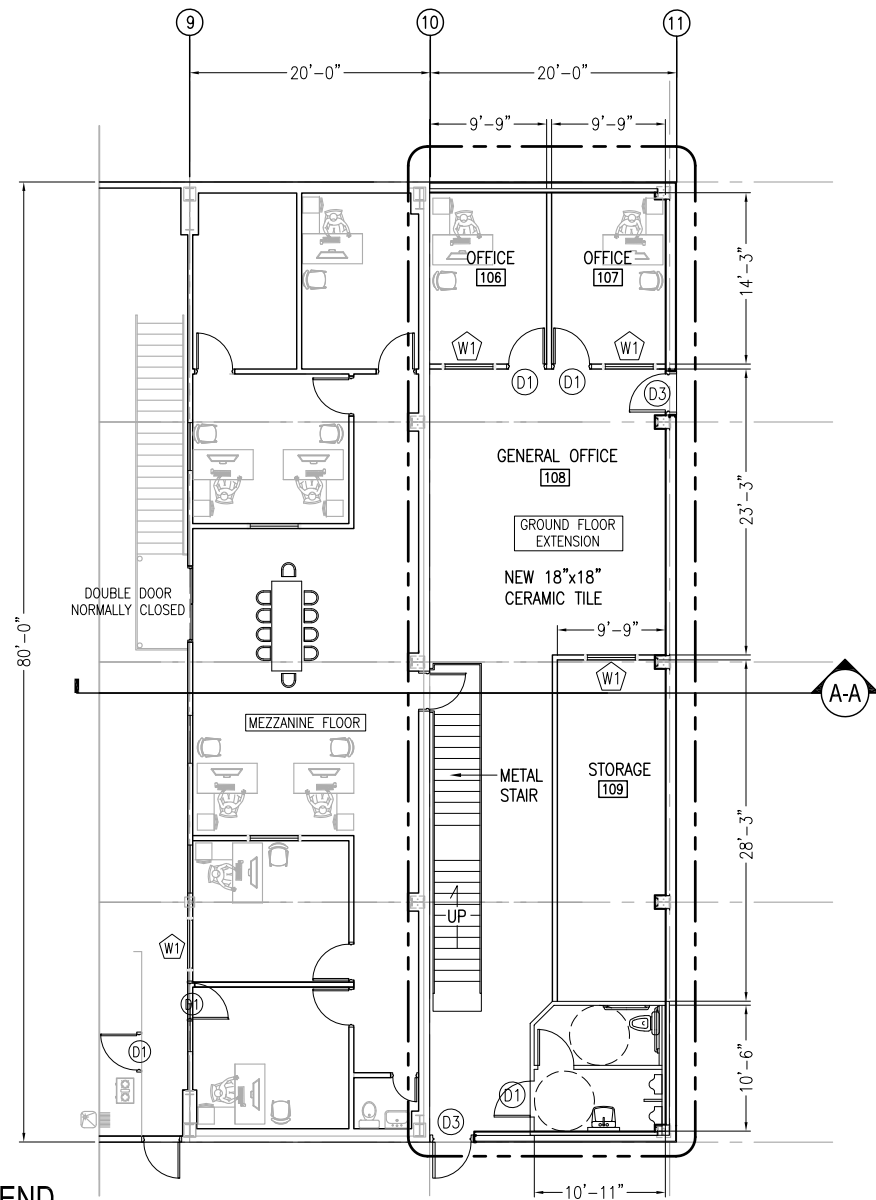
W2 FIXED GLASS WINDOW

2 WINDOW TYPES

HORIZ. SCALE: NTS

This drawing was prepared by me or was under my direct supervision.

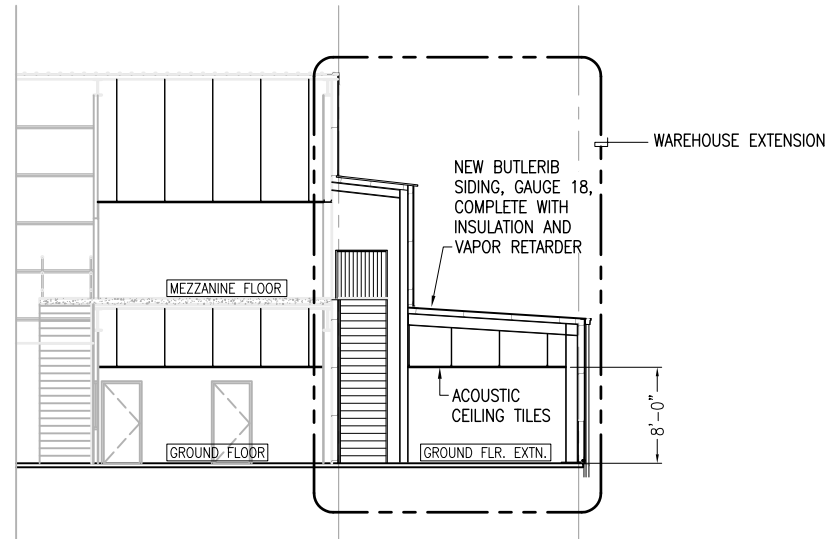
REVISION	DATE	BY	ADDENDUM 2
	02.03.25		
 GUAM WATERWORKS AUTHORITY GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913			
GWA PROJECT NUMBER		PROJECT:	
IN-HOUSE DESIGN ENGINEERING DIVISION		DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION	
DES. BY:	CHK. BY:	CONTENTS:	ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	DOORS AND WINDOWS SCHEDULE	SHEET NO.: C-11
CHIEF ENGR:			SHEET 12 OF 20



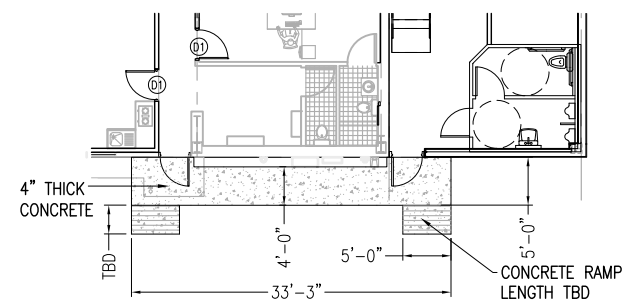
LEGEND

- Ⓛ1 DOOR TYPE 1
- Ⓛ2 DOOR TYPE 2
- Ⓛ3 DOOR TYPE 3
- Ⓛ1 WINDOW TYPE 1

1 EXTENSION
HORIZ. SCALE: 1"=8'-0"



2 SECTION A-A
HORIZ. SCALE: 1"=8'-0"



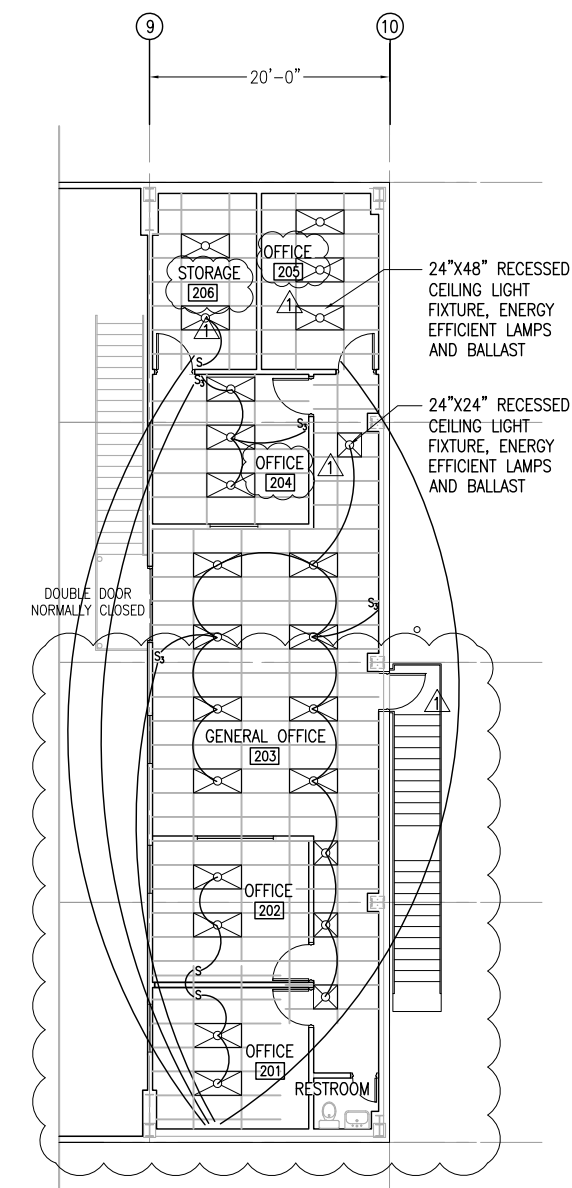
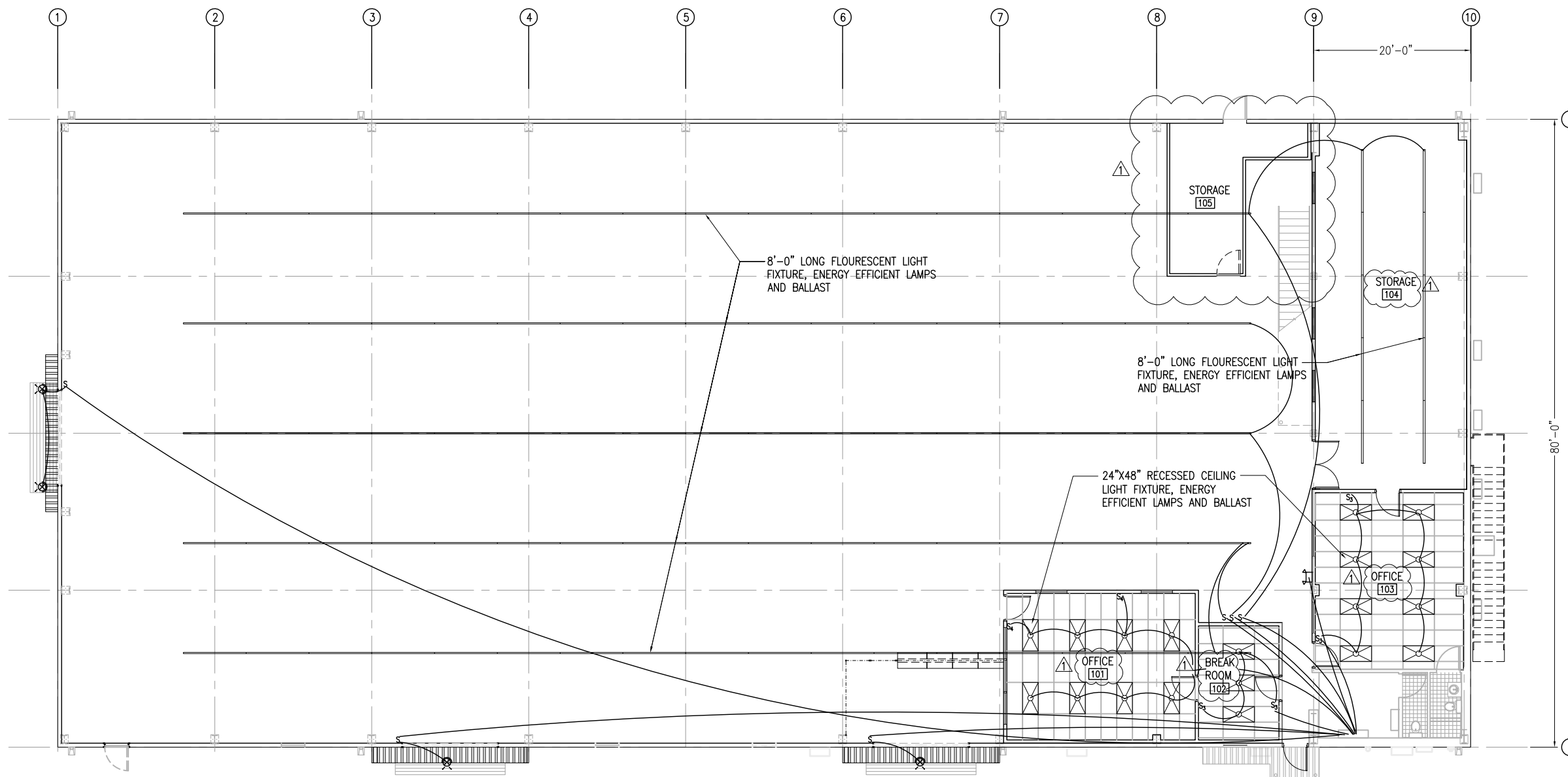
3 ADA ACCESS
HORIZ. SCALE: 1"=8'-0"

NOTES:

1. THIS WAREHOUSE EXTENSION IS AN ADDITIVE BID ITEM.
2. THIS DRAWING SHOWS CONCEPT LAYOUT. THE DESIGN-BUILDER IS RESPONSIBLE IN COMPLETING THE DESIGN DRAWINGS INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL INCLUDING SPRINKLER SYSTEM, ELECTRICAL, TELECOMMUNICATION, AND PLUMBING.
3. ALL OFFICES ARE TO BE PROVIDED WITH ACCU.
4. ALL DRAWINGS ARE SUBJECT GWA APPROVAL.
5. THE WAREHOUSE EXTENSION SHALL COMPLY WITH THE MINIMUM ADA REQUIREMENTS.
6. PROVIDE ADA ACCESS BETWEEN THE ENTRANCE TO EXISTING WAREHOUSE AND ENTRANCE TO WAREHOUSE EXTENSION.
7. SUPPLY OF FURNITURE, FIXTURES, AND EQUIPMENT (FFE) ARE NOT INCLUDED IN THE PROJECT SCOPE.
8. DOOR ORIENTATIONS CAN BE ADJUSTED.
9. LAYOUT OF ADA RESTROOM CAN BE ADJUSTED.
10. REFER TO EXHIBIT "B" ADDENDUM NO. 2 FOR POSSIBLE CONNECTION OF WATER AND SEWER SERVICE.

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REVISION	DATE	BY	ADDENDUM 2
<p>GUAM WATERWORKS AUTHORITY GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913</p>			PROJECT:
<p>GWA PROJECT NUMBER IN-HOUSE DESIGN ENGINEERING DIVISION</p>			<p>DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION</p>
DES. BY:	CHK. BY:	CONTENTS:	TO NO.: XXX-XXXX
DRN. BY:	CHK. BY:	WAREHOUSE EXTENSION	SHEET NO.: C-12
CHIEF ENGR:			SHEET 11 OF 20







GENERAL ELECTRICAL NOTES AND SPECIFICATIONS

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE (NEC) 2020 EDITION. RULES AND REGULATIONS OF THE DEPARTMENT OF PUBLIC WORKS AND GOVERNMENT OF GUAM.
2. ALL EQUIPMENT AND MATERIALS SHALL BE UL LISTED WHERE LISTING IS AVAILABLE FOR THAT TYPE OF EQUIPMENT OR CONFORM TO ANSI OR NEMA STANDARDS. SUBMIT SHOP DRAWINGS AND PRODUCT INFORMATION CATALOG FOR APPROVAL.
3. WORKMANSHIP SHALL CONFORM TO CONSTRUCTION PRACTICES RECOMMENDED BY THE AMERICAN ELECTRICIANS HANDBOOK BY CROFT (LATEST EDITION) AND SHALL BE SUBJECT TO THE APPROVAL OF THE AGENCY WHO HAS JURISDICTION AND THE ENGINEER.
4. ANY DEVICE MAY BE RELOCATED FROM THE LOCATION SHOWN ON THE DRAWINGS PRIOR TO INSTALLATION AT THE DIRECTION OF THE ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.
5. METALLIC ENCLOSURES, RACEWAYS, AND ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH REQUIREMENTS OF NEC ARTICLE 250. PROVIDE GROUND WIRE IN EVERY RACEWAY, SIZE IN ACCORDANCE WITH NEC TABLE.
6. OBTAIN AND PAY FOR PERMITS.
7. CONDUIT SHALL BE PVC (ENCASED IN CONCRETE AND BELOW GRADE), ALUMINUM (EXPOSED INSTALLATION), EMT (DRY LOCATIONS, CONCEALED ABOVE GARDE). 3/4" MINIMUM DIAMETER UNLESS OTHERWISE NOTED.
8. WIRING SHALL BE NEC TYPE THW, THWN OR XHHW, 600V. CONDUCTORS SHALL BE COPPER.

9. TEST: TESTING IN PRESENCE OF ENGINEER. RESULTS SUBMITTED FOR APPROVAL TO ENGINEER.
 - A. MEASUREMENT OF VOLTAGES AT SERVICE EQUIPMENT
 - B. OPERATION TEST
 - C. INSULATION RESISTANCE
 - D. GROUNDING TEST
10. ELECTRICAL WORK SHALL BE UNDER FULL SUPERVISION OF A PROFESSIONAL ELECTRICAL ENGINEER OR A MASTER ELECTRICIAN REGISTERED TO PRACTICE IN GUAM.
11. SUBMIT SHOP DRAWING AND CATALOG DATA FOR ALL MATERIALS FOR APPROVAL.
12. CONDUITS, RACEWAYS, WIREWAYS, CABLE TRAYS, ENCLOSURES AND FULL BOXES FOR DATA/LAN SYSTEM SHALL BE INSTALLED AT A MINIMUM OF 6 INCHES AWAY FROM ANY ELECTRICAL EQUIPMENT, DEVICES, LIGHT FIXTURES INCLUDING CONDUIT AND WIRING.
13. ALL OUTDOOR OUTLETS SHALL BE GFI TYPE AND WR LISTED. DEVICE COVER SHALL BE WEATHER PROOF RATED WHILE IN USE.
14. ALL NEW LAMPS AND LIGHTING FIXTURES SHALL BE ENERGY EFFICIENT.


1 GROUND FLOOR REFLECTED CEILING PLAN - NEW
HORIZ. SCALE: 1"=8'-0"

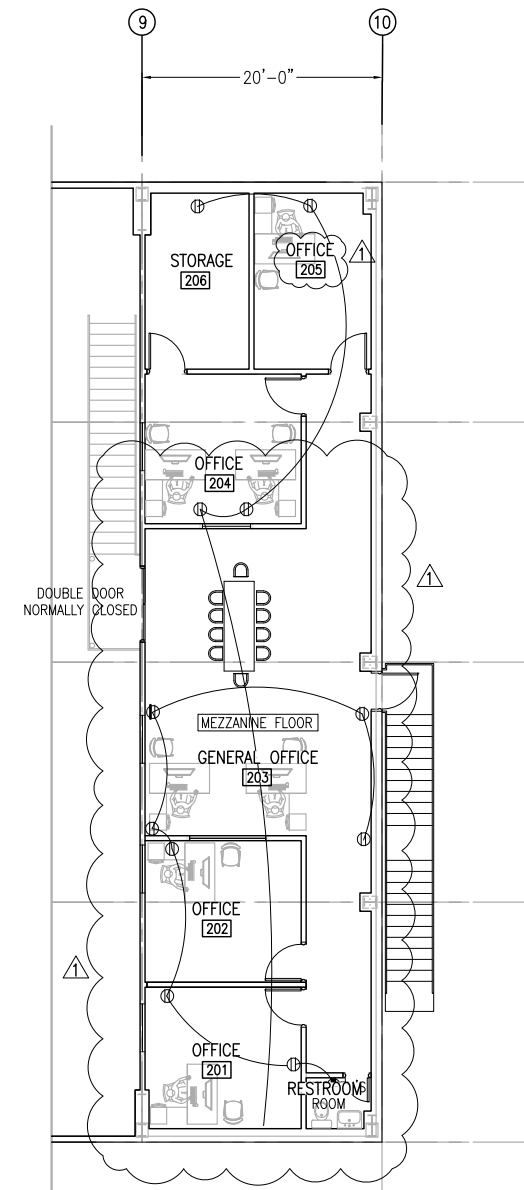
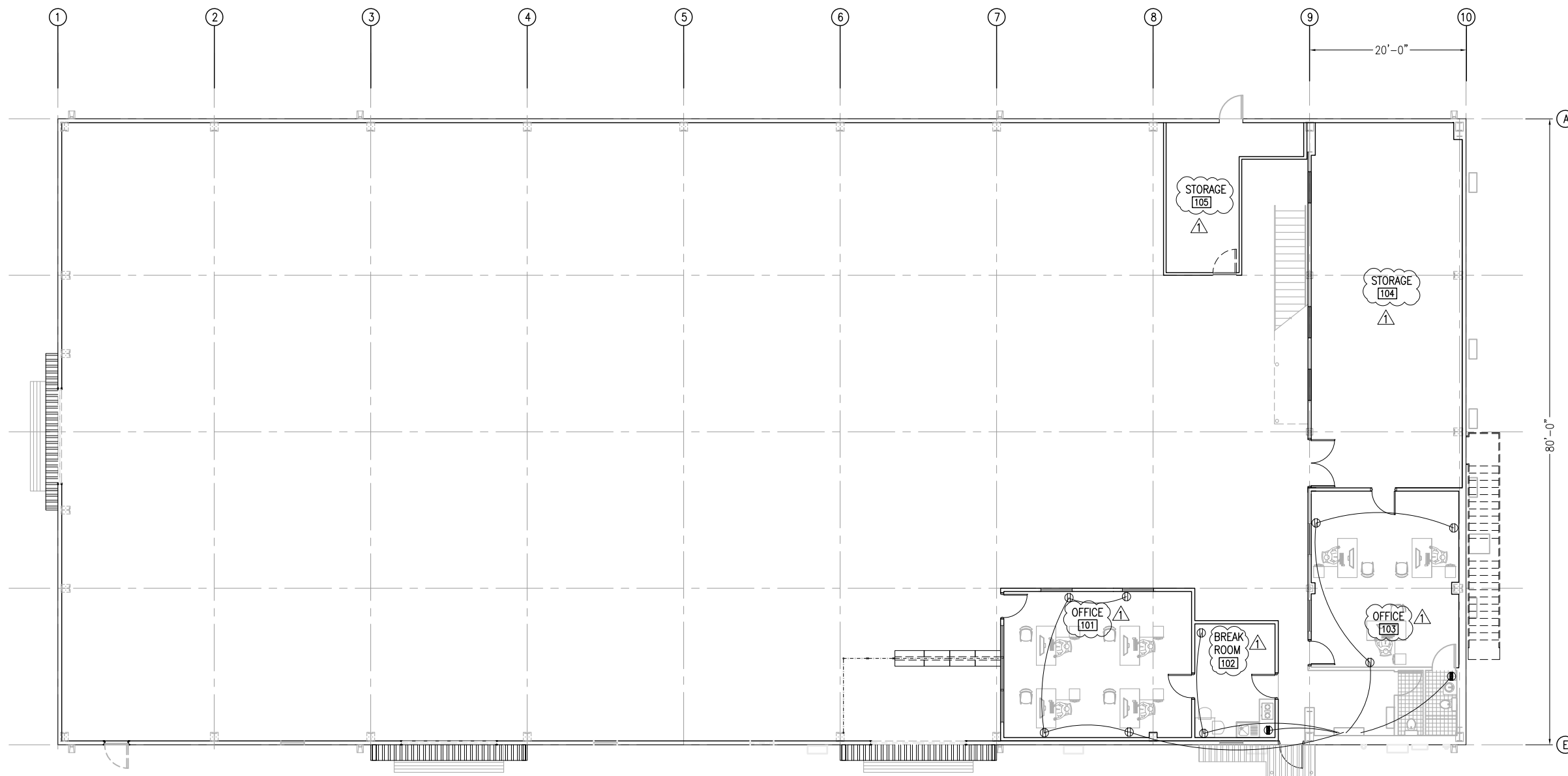
2 MEZZANINE FLOOR REFLECTED CEILING PLAN - NEW
HORIZ. SCALE: 1"=8'-0"

-  24"x48" ACOUSTICAL CEILING TILES WITH ALUMINUM GRID SYSTEM
-  24"x48" RECESSED CEILING LIGHT FIXTURE, ENERGY EFFICIENT LAMPS AND BALLAST
-  24"x24" RECESSED CEILING LIGHT FIXTURE, ENERGY EFFICIENT LAMPS AND BALLAST
-  COMPACT FLUORESCENT BULB
- SERIES OF 8'-0" LONG FLOURESCENT LIGHT FIXTURE, ENERGY EFFICIENT LAMPS AND BALLAST

3 CEILING LEGEND - NEW
HORIZ. SCALE: N T S

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REVISION	DATE	BY	ADDENDUM 2
			 GUAM WATERWORKS AUTHORITY GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913
GWA PROJECT NUMBER		PROJECT:	
IN-HOUSE DESIGN ENGINEERING DIVISION		DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION	
DES. BY:	CHK. BY:	CONTENTS:	ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	GROUND AND MEZZANINE FLOOR REFLECTED CEILING PLAN, GENERAL ELECTRICAL NOTES AND SPECIFICATIONS	E-4
CHIEF ENGR:			SHEET 16 OF 20



- NEW POWER WIRING
- Ⓜ NEW POWER OUTLET

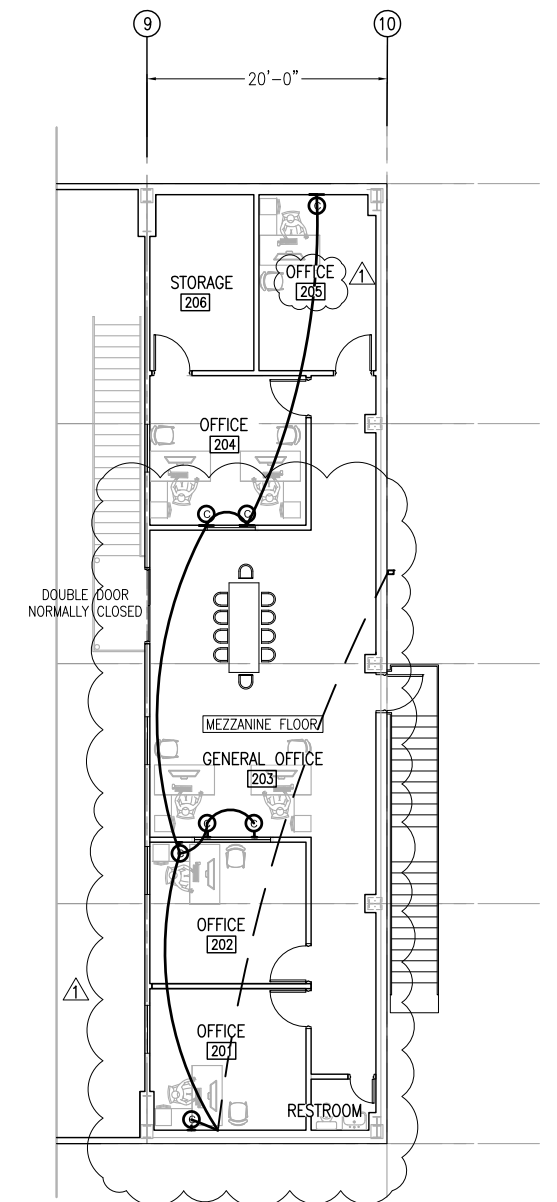
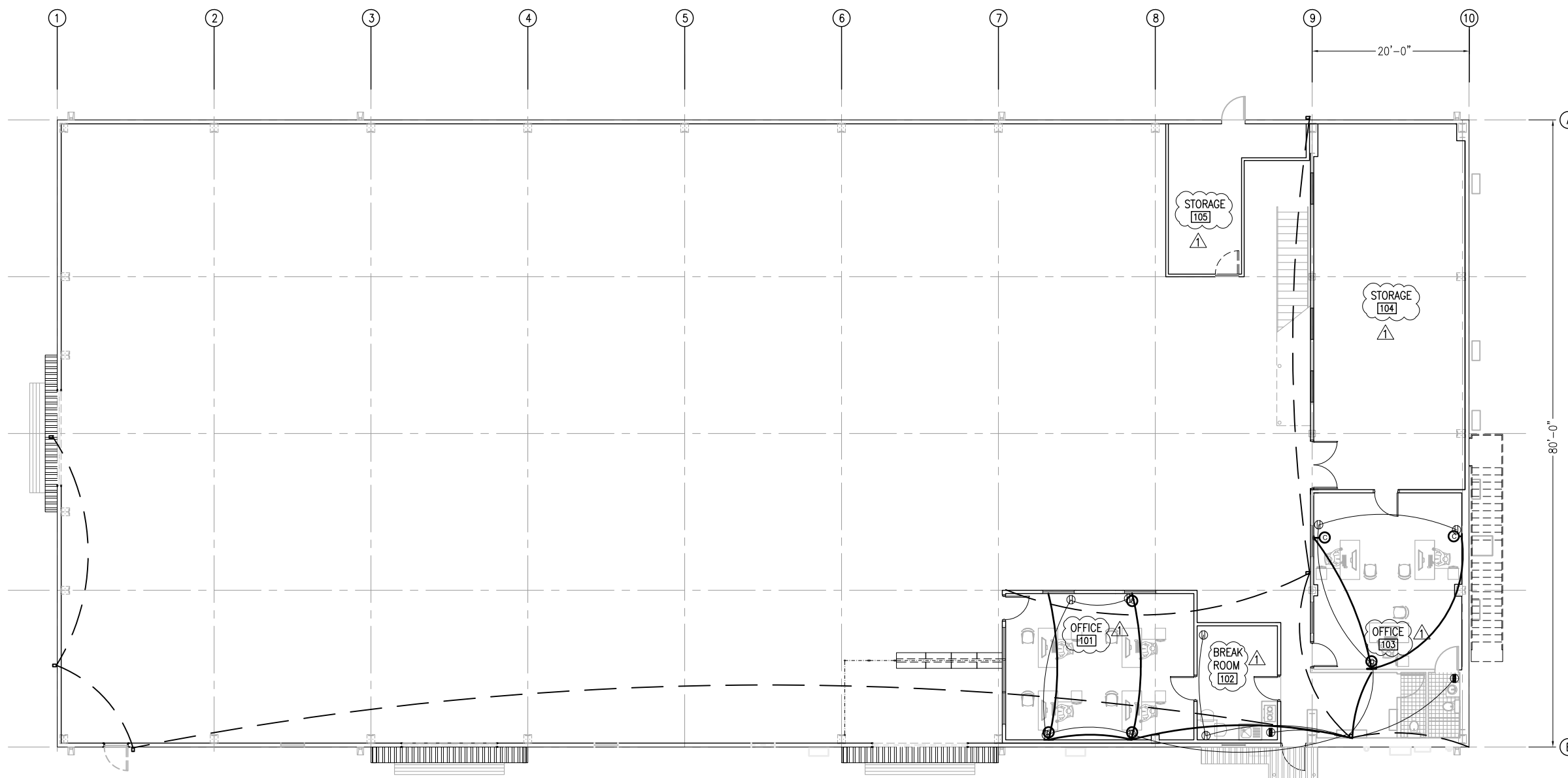
3 LEGEND
HORIZ. SCALE: N T S

1 GROUND FLOOR POWER PLAN - NEW
HORIZ. SCALE: 1"=8'-0"

2 MEZZANINE FLOOR POWER PLAN - NEW
HORIZ. SCALE: 1"=8'-0"

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REVISION	DATE	BY	ADDENDUM 2
	02.03.25		
GWA PROJECT NUMBER IN-HOUSE DESIGN ENGINEERING DIVISION			PROJECT: DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION
DES. BY:	CHK. BY:	CONTENTS:	ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	GROUND AND MEZZANINE FLOOR POWER PLAN - NEW	SHEET NO.: E-5
CHEF ENGR:			SHEET 17 OF 20



1 GROUND FLOOR CCTV/TELECOMMUNICATION PLAN - NEW
 HORIZ. SCALE: 1"=8'-0"

2 MEZZANINE FLOOR CCTV/TELECOMMUNICATION PLAN - NEW
 HORIZ. SCALE: 1"=8'-0"

- NEW CCTV CABLE CONDUIT WITH PULL STRING
- NEW JUNCTION BOX FOR CCTV CABLES
- NEW COMMUNICATION WIRING
- NEW COMMUNICATION OUTLET

3 LEGEND
 HORIZ. SCALE: N T S

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REVISION	DATE	BY	ADDENDUM 2
	02.03.25		
 GUAM WATERWORKS AUTHORITY <small>GLORIA B. NELSON PUBLIC SERVICE BUILDING 688 ROUTE 15, MANGILAO, GUAM 96913</small>			
GWA PROJECT NUMBER		PROJECT:	
IN-HOUSE DESIGN ENGINEERING DIVISION		DESIGN-BUILD OF GWA UPPER TUMON WAREHOUSE RENOVATION	
DES. BY:	CHK. BY:	CONTENTS:	ID NO.: XXX-XXXX
DRN. BY:	CHK. BY:	GROUND AND MEZZANINE FLOOR CCTV/TELECOMMUNICATION PLAN - NEW	SHEET NO.: E-6
CHIEF ENGR:			SHEET 18 OF 20